

The Pointe at Barclay Street and Utility Extensions



LOCATED IN THE CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA
DESCRIPTION OF WORK: GRADING, PAVING, DRAINAGE, AND UTILITIES

OWNER: CAMERON PROPERTIES LAND COMPANY, LLC
WILMINGTON, NC
P.O. BOX 3649

SITE INVENTORY TABLE:

ADDRESS: 3743 INDEPENDENCE BLVD.
WILMINGTON, NC 28412

TAX PARCEL IDENTIFICATION NUMBERS:
R06500-003-031-000
DB 5884 PG 2941

ZONING: RB, O&I-1, MF-M

CAMA LAND CLASSIFICATION: URBAN
HISTORICAL AND ARCHAEOLOGICAL SITES: NONE EXIST
WETLANDS: NONE EXIST
LAND COVER: WOODED (SMALL PINES)

- O & I-1 DIMENSIONAL STANDARDS
- MINIMUM LOT AREA: 15,000 SF
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM LOT WIDTH: 80'
 - MINIMUM FRONT SETBACK: 20'
 - MINIMUM REAR SETBACK: 20'
 - MINIMUM INTERIOR SIDE SETBACK: 10'
 - MINIMUM CORNER LOT SETBACK: 20'
 - HEIGHT: 45'

- RB DIMENSIONAL STANDARDS
- MINIMUM LOT AREA 1 ACRE
 - MINIMUM LOT WIDTH 100 FT.
 - MINIMUM LOT COVERAGE 40%
 - MINIMUM FRONT SETBACK 25 FT.
 - MINIMUM REAR SETBACK 15 FT.
 - MINIMUM INTERIOR SIDE SETBACK 0 FT.
 - MINIMUM CORNER SIDE SETBACK 25 FT.
 - MAXIMUM HEIGHT 35 FT.

- MF-M DIMENSIONAL STANDARDS
- MINIMUM LOT AREA 20,000 S.F.
 - MINIMUM DETACHED 5,000 S.F.
 - MAXIMUM DENSITY 17 UNITS PER ACRE
 - MINIMUM LOT WIDTH 100 FT.
 - MAXIMUM LOT COVERAGE 50%
 - MAXIMUM HEIGHT 35 FT.

TOTAL ACREAGE (INCLUDES STREETS R/W) = 81.57 ACRES

- LOT 1 - 3.62 AC
- LOT 2 - 4.02 AC
- LOT 3 - 4.00 AC
- LOT 4 - 10.13 AC
- LOT 5 - 1.93 AC
- LOT 6 - 1.87 AC
- LOT 7 - 2.14 AC
- LOT 8 - 51.66 AC
- STREET R/W - 2.21 AC
- TOTAL 81.57 AC

EXISTING STORMWATER PERMIT: SW8 951208

- PROPOSED IMPERVIOUS
- STREETS - 62,150 SF
- DRIVE - 21,480 SF
- SIDEWALKS - 15,535 SF
- TOTAL IMPERVIOUS - 99,165 SF
- % IMPERVIOUS - 2%

EXISTING GROUND COVER: WOODED

- SOILS DATA:
- PRIMARILY MURVILLE FINE SAND (Mu)
 - EROSION FACTOR - 0.05
 - HIGHLY PERMEABLE, HYDRAULIC GROUP A/D
 - AASHTO A-2-4

- SEWER DEMAND
- AVERAGE DAILY DEMAND 60,000 GPD
 - PEAK HOURLY DEMAND 105 GPM

LEGEND

- WV = WATER VALVE
- WM = WATER METER
- CO = SANITARY SEWER CLEAN OUT
- INV. = INVERT
- B/O = BLOW OFF ASSEMBLY
- BFP = BACK FLOW PREVENTOR
- GW = GUY WIRE
- SMH = STORM MANHOLE
- GT. = GREASE TRAP
- FH = FIRE HYDRANT ASSEMBLY
- I.S. = IRON SET
- ⊙ = SANITARY SEWER MH
- ⊕ = CURB INLET
- ⊗ = TREE
- ⊙ = CURB RAMP
- ⊖ = WATER SERVICE
- ⊗ = SEWER CLEANOUT
- ⊕ = WATER VALVE
- ⊖ = SIGN LOCATION
- ⊙ = LIGHT POLE

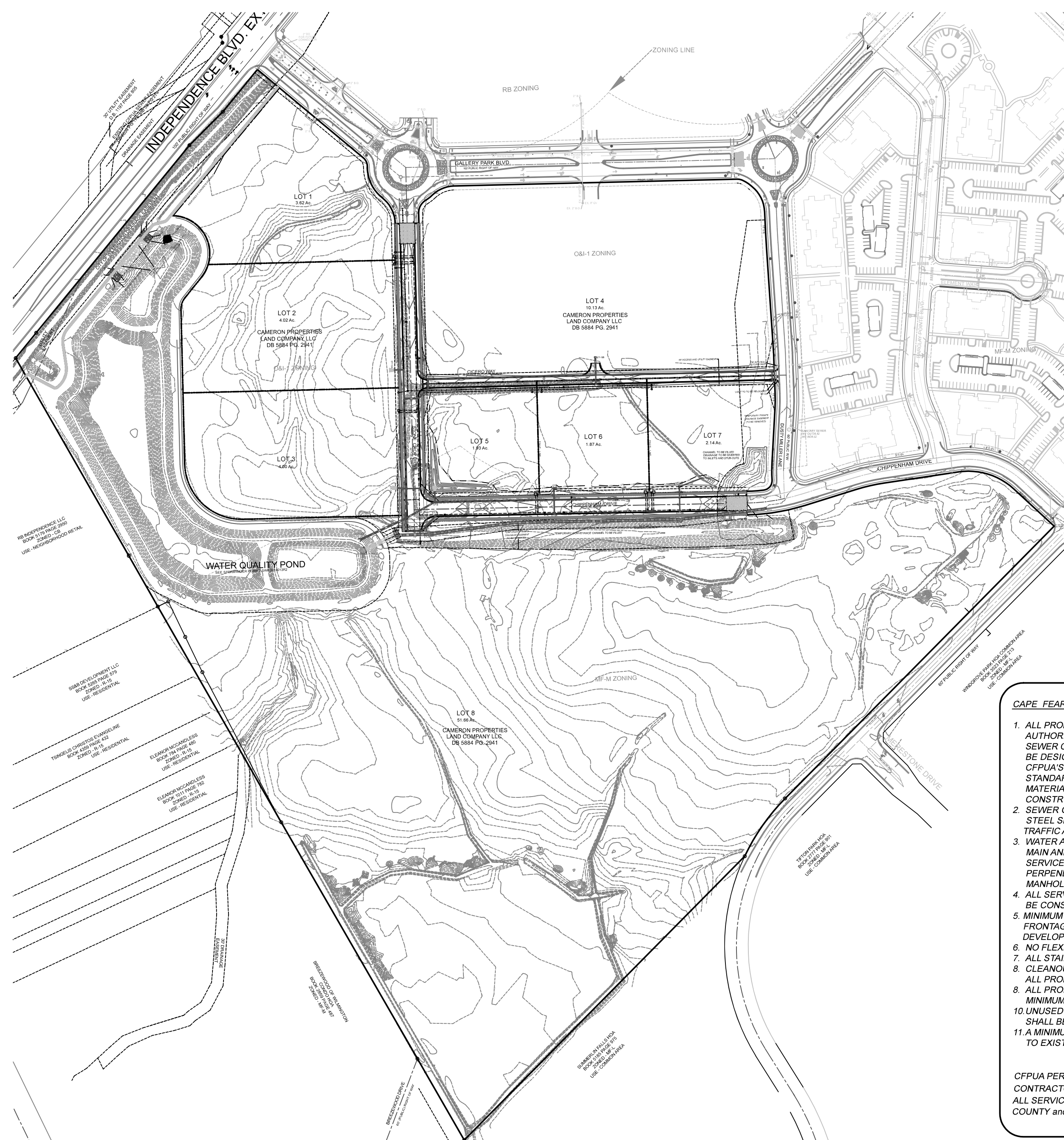
- PROPERTY LINE
- BUILDING SETBACK
- CENTERLINE
- EASEMENT
- COMPUTED PROPERTY LINE
- EXISTING CONTOUR
- STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED SIDEWALK

STABILIZATION TIME FRAMES:

SITE AREA DESCRIPTION	STABILIZATION
Perimeter dikes, swales, ditches and slopes	7 DAYS
High Quality Water (HQW) Zones	7 DAYS
Slopes steeper than 3:1	7 DAYS
Slopes 3:1 or flatter	14 DAYS
All other areas with slopes flatter than 4:1	14 DAYS

GENERAL NOTES:

- This map is not for conveyance, recordation, or sales.
- This property is not located within a flood hazard area according to Flood Insurance Rate Map Community ID# 370171 panel 3126 suffix J effective date April 3, 2006.
- This property is zoned O&I-1, City of Wilmington.
- Water service to be CPFLA (public).
- Sewer service to be CPFLA (public).
- Topographic data furnished by County Topo and other sources not field verified. Additional topo of Construction limits from HDS, January 2018.



CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

- ALL PROPOSED ADDITIONS TO CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPLA) WATER DISTRIBUTION SYSTEM AND SANITARY SEWER COLLECTION SYSTEMS, AS SHOWN AND SPECIFIED HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE STATE RULES AND THE CFPLA'S MINIMUM TECHNICAL STANDARDS. THE CFPLA MINIMUM TECHNICAL STANDARDS ARE CONTAINED IN THE CURRENT DESIGN GUIDANCE MANUAL, MATERIAL SPECIFICATION MANUAL, TECHNICAL SPECIFICATIONS FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN THE END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL ALSO BE CONSTRUCTED OF DIP.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.
- CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
- ALL PROPERTY CORNERS WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
- UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
- A MINIMUM OF 10' OF MAIN LINE SHALL BE REPLACED FOR NEW CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.

CFPLA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK.
CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CFPLA.
ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH COUNTY and CFPLA TECHNICAL STANDARDS.

GENERAL NOTES:

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- ALL TREES WHICH ARE NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL BE PRESERVED WHEREVER POSSIBLE UNLESS OTHERWISE DIRECTED.
- CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR RESPONSIBLE FOR GEOTECHNICAL TESTING AS NECESSARY.
- EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
- CONTRACTOR TO ENSURE THAT STREET PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE ROADWAY INLETS AND CATCH BASINS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- THIS PLAN IS FOR SITE UTILITIES, GRADING, ROADWORK, AND DRAINAGE ONLY.
- AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT, AT THE MINIMUM THIS SHOULD INCLUDE AT&T AND DUKE (PROGRESS) ENERGY.
- ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND ALL APPLICABLE STATE & LOCAL CODES.
- CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH THE STATE AND THE CITY. CONTRACTOR RESPONSIBLE FOR ANY ADDITIONAL REQUIRED PERMITS.
- CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE TO RECEIVING STRUCTURES. ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (I.E. IMPERVIOUS SURFACES AND ROOF DRAINAGE) IS TO BE DIRECTED TO STORM SEWER COLLECTION SYSTEM (I.E. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING, OR LANDSCAPING INLETS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, REALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
- CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL MEET CITY, NCDOT AND MUTCD STANDARDS.
- SANITARY SERVICES SMALLER THAN 8" SHALL HAVE CLEANOUTS AT INTERVALS OF NOT MORE THAN 100'. CLEANOUTS SHALL BE PROVIDED FOR SERVICE LINES AND BUILDING DRAINS THAT HAVE HORIZONTAL DIRECTION CHANGES GREATER
- SEE 2018 IPC FOR FURTHER GUIDANCE ON UTILITY SERVICE REQUIREMENTS.

ADDITIONAL STORM WATER NOTES:

- ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (I.E. IMPERVIOUS SURFACES AND ROOF DRAINAGE) IS TO BE DIRECTED TO THE STORM SEWER COLLECTION SYSTEM (I.E. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING OR LANDSCAPE INLETS.
- CONTRACTOR TO ENSURE THAT STREET PAVEMENT AND CURBING IS PLACED TO DRAIN POSITIVELY TO CURB INLETS AND DRAINAGE STRUCTURES.
- FOR STORM PIPE MATERIAL AND INSTALLATION SEE DETAILS AND NCDOT STANDARD DRAWINGS 300.1 SHEETS 1-3.
- ROOF DRAINS SHALL BE SIZED ACCORDING TO THE 2018 INTERNATIONAL PLUMBING CODE AND ALL SHALL CONFORM TO ANY LOCAL REQUIREMENTS.
- ANY ROOF DRAIN LOCATIONS SHOWN HERE ARE APPROXIMATE AND MAY BE FIELD ADJUSTED AS LONG AS THE MINIMUM REQUIRED SLOPE IS MAINTAINED.

NOTE WELL:

ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS OR 21 CALENDAR DAYS AND AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.

DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE TOWN AND COUNTY. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT OTHER SERVICES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY, COUNTY AND STATE CODES AND CONSTRUCTION STANDARDS.

No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.

WATER AND SEWER TOTALS:

8" WATER MAIN: 1655 LF
8" SEWER LINE: 1089 LF

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE
PERMIT #
SIGNED

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

REV. NO.	TRC COMMENTS	DATE
1		7/17/19
1	TRC	4/12/2019
REV. NO.	REVISIONS	DATE

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SHEET No.	DESCRIPTION
SRB-1 OF SRB-7	COVER SHEET
SRB-2-4 OF SRB-7	GENERAL SITE PLAN SHEETS
SRB-5-6 OF SRB-7	GENERAL DETAILS
SRB-7 OF SRB-7	EXISTING CONDITIONS
PP1 OF PP5	PLAN AND PROFILE STONE CROP DRIVE
PP2 OF PP5	PLAN AND PROFILE CHIPPEHAM DRIVE
PP3 OF PP5	PLAN AND PROFILE CICERO WAY (ACCESS DRIVE)
PP4 OF PP5	INDEPENDENCE SIDEWALK DETAILS
PP5 OF PP5	ADDITIONAL STORM PROFILES
D1 OF D3	ADDITIONAL DETAILS
D2 OF D3	CPFLA WATER DETAILS
D3 OF D3	CPFLA SEWER DETAILS
ESC1 OF ESC4	EROSION CONTROL
ESC2 OF ESC4	EROSION CONTROL
TS1-TS1	TREE SURVEY / TREE REMOVAL PLAN
L1-L1	STREET TREE PLAN

COVER SHEET
The Pointe at Barclay Street and Utility Extensions
City of Wilmington NEW HANOVER COUNTY, NORTH CAROLINA

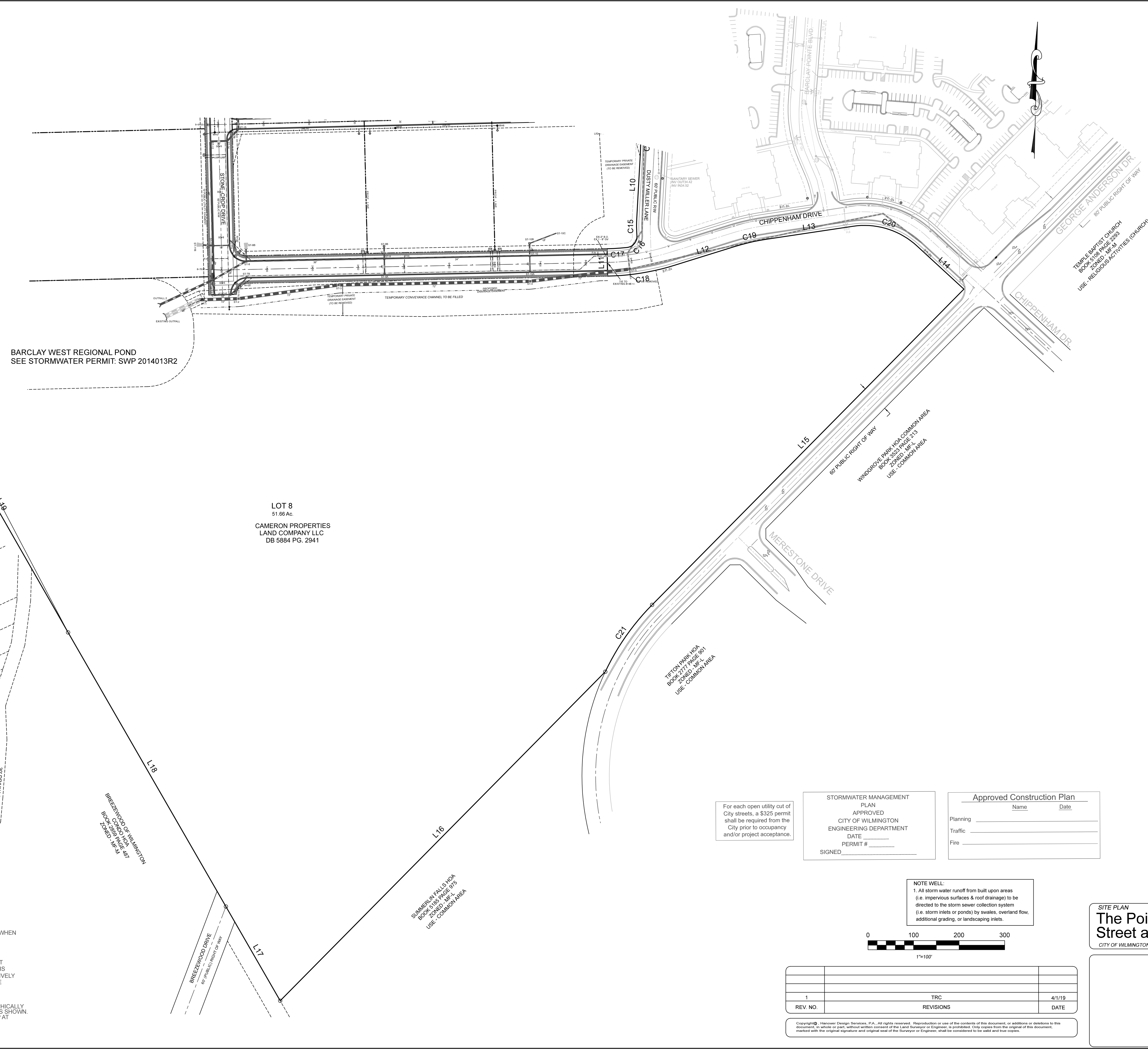
OWNER: CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, NC 28403
PHONE: 910-243-9002
LICENSE # C-5597

Date: 01-03-19
Scale: HORIZ. 1"=200'
Drawn: GW
Checked: GW
Project No: 5834
Sheet No: SRB-1
SRB-7

LEGEND

- WV = WATER VALVE
 - WM = WATER METER
 - C/O = SANITARY SEWER CLEAN OUT
 - INV. = INVERT
 - B/O = BLOW OFF ASSEMBLY
 - BFP = BACK FLOW PREVENTOR
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STORM DRAIN
PROPOSED SANITARY SEWER
PROPOSED SIDEWALK
TRAFFIC FLOW ARROWS



- STANDARD NOTES:**
1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 2. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 3. ALL TREES WHICH ARE NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL BE PRESERVED WHEREVER POSSIBLE UNLESS OTHERWISE DIRECTED.
 4. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. ROADS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
 6. NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
 8. CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE CURB OUTLETS AND CATCH BASINS. ALL ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM SEWER SYSTEM.
 9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
 10. THIS PLAN IS FOR SITE GRADING, ROADWORK & SEWER INSTALLATION ONLY.
 11. NO ENCUMBRANCES IN ROW EXCEPT AS SHOWN.
 12. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT AT THE MINIMUM THIS SHOULD INCLUDE BELL-SOUTH AND DUKE ENERGY.
 13. TEMPORARY PROJECT AREA LIMITS ARE SHOWN.
 14. THIS PROPERTY IS ZONED O&I-1.
 15. SEWER AND WATER TO BE PROVIDED BY CFPUA. SPECIFIC LOCATION, SIZING AND DETAILS WILL BE PROVIDED ON THE CONSTRUCTION PLANS AND TO BE APPROVED BY CFPUA AND CITY ENGINEERS.
 16. SITE WILL MEET ALL ZONING REQUIREMENTS.
 17. ANY REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
 18. STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
 19. NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
 20. ALL UTILITIES UNDERGROUND.
 21. LANDSCAPING AND LIGHTING PLAN BY OTHERS. LIGHTING SHOWN ON THIS PLAN ARE FOR APPROXIMATE LOCATIONS ONLY.

- UTILITY NOTES**
- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:*
1. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
 2. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CURB-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN THE END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 3. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP WITH PROTECTO 401 CERAMIC EPOXY LINING.
 4. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
 5. NO FLEXIBLE COUPLINGS SHALL BE USED.
 6. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
 7. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
 8. ALL PROPERTY CORNERS, WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
- ADDITIONAL NOTES:**
CFPUA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK.
CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CFPUA.
ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPUA TECHNICAL STANDARDS.

SITE AREA DESCRIPTION	STABILIZATION
Perimeter dikes, swales, ditches and slopes	7 DAYS
High Quality Water (HQW) Zones	7 DAYS
Slopes steeper than 3:1	7 DAYS
Slopes 3:1 or flatter	14 DAYS
All other areas with slopes flatter than 4:1	14 DAYS

STABILIZATION TIME FRAMES:
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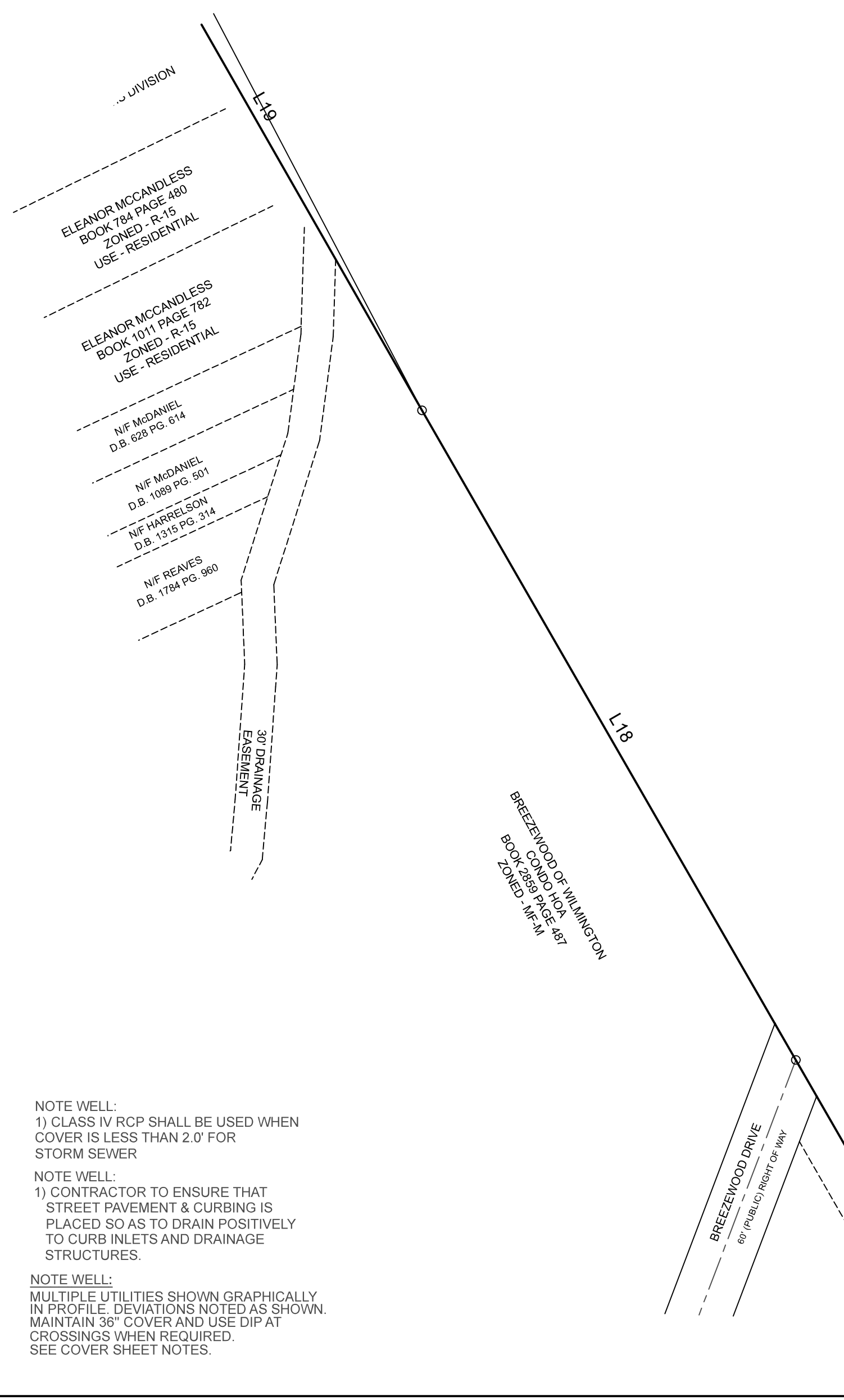
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No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.

NOTE WELL:
SEWER PIPE (SIZED 8" THROUGH 12") SHALL BE CLASS 150, SDR18, CONFORMING TO AWWA C900 REQUIREMENTS. SEE SPECIFICATIONS FOR ADDITIONAL PIPE SIZES, CLASSES AND SCHEDULES (TYPICAL).

NOTE WELL:
C-900 PVC OR DIP IS TO BE USED FOR ANY SEWERS WITH A DEPTH GREATER THAN 12' (TYPICAL). INSIDE DROP MANHOLES SHALL BE A MINIMUM OF 5' DIAMETER. A DROP PIPE SHALL BE PROVIDED FOR SEWER ENTERING A MANHOLE 30" ABOVE MANHOLE INVERT. SEE DETAIL SHEET.

NOTE WELL: IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE MINIMUM SEWER SLOPES SPECIFIED BY STATE REGULATIONS ARE ACHIEVED.



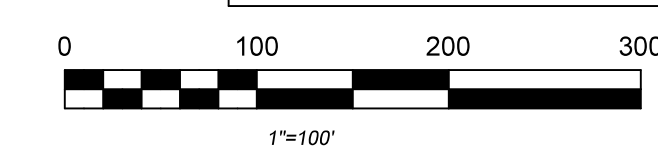
LOT 8
51.66 Ac
CAMERON PROPERTIES
LAND COMPANY LLC
DB 5884 PG. 2941

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

NOTE WELL:
1. All storm water runoff from built upon areas (i.e. impervious surfaces & roof drainage) to be directed to the storm sewer collection system (i.e. storm inlets or ponds) by swales, overland flow, additional grading, or landscaping inlets.



REV. NO.	REVISIONS	DATE
1	TRC	4/1/19

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SITE PLAN
The Pointe at Barclay Street and Utility Extensions
CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2876

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORENCE PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-0002
LICENSE # C-0597

Date: 01-03-19
Scale: 1"=100'
Drawn: GW
Checked: GW
Project No: 5834
Sheet No: SRB-3
SRB-7

- LEGEND**
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 - W = WATER SERVICE
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 - WV = WATER VALVE
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 - LP = LIGHT POLE
- PROPERTY LINE
- BUILDING SETBACK
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- EASEMENT
- COMPUTED PROPERTY LINE
- EXISTING CONTOUR
- STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED SIDEWALK
- TRAFFIC FLOW ARROWS

LOT 1
3.62 Ac.

LOT 2
4.02 Ac.

LOT 3
4.00 Ac.

GALLERY PARK BLVD.
100' PUBLIC RIGHT OF WAY

LOT 4
10.13 Ac.
**CAMERON PROPERTIES
LAND COMPANY LLC
DB 5884 PG. 2941**

LOT 5
1.93 Ac.

LOT 6
1.87 Ac.

LOT 7
2.14 Ac.

LOT 8
51.66 Ac.

- STANDARD NOTES:**
1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 2. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 3. ALL TREES WHICH ARE NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL BE PRESERVED WHEREVER POSSIBLE UNLESS OTHERWISE DIRECTED.
 4. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. ROADS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
 6. NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
 8. CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE CURB OUTLETS AND CATCH BASINS. ALL ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM SEWER SYSTEM.
 9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
 10. THIS PLAN IS FOR SITE GRADING, ROADWORK & SEWER INSTALLATION ONLY.
 11. NO ENCUMBRANCES IN RW EXCEPT AS SHOWN.
 12. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT AT THE MINIMUM THIS SHOULD INCLUDE BELLSOUTH AND DUKE ENERGY.
 13. TEMPORARY PROJECT AREA LIMITS ARE AS SHOWN.
 14. THIS PROPERTY IS ZONED: O&I-1.
 15. SEWER AND WATER TO BE PROVIDED BY CFPWA. SPECIFIC LOCATION, SIZING, AND DETAILS WILL BE PROVIDED ON THE CONSTRUCTION PLANS AND TO BE APPROVED BY CFPWA AND CITY ENGINEERS.
 16. SITE WILL MEET ALL ZONING REQUIREMENTS.
 17. ANY REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
 18. STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
 19. NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
 20. ALL UTILITIES UNDERGROUND.
 21. LANDSCAPING AND LIGHTING PLAN BY OTHERS. LIGHTING SHOWN ON THIS PLAN ARE FOR APPROXIMATE LOCATIONS ONLY.

- UTILITY NOTES**
- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:
1. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
 2. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN THE END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 3. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP, WITH PROTECTO 401 CERAMIC EPOXY LINING.
 4. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
 5. NO FLEXIBLE COUPLINGS SHALL BE USED.
 6. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
 7. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM
 8. ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
- ADDITIONAL NOTES:
CFPWA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK.
CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CFPWA.
ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPWA TECHNICAL STANDARDS.

SITE AREA DESCRIPTION	STABILIZATION
Perimeter dikes, swales, ditches and slopes	7 DAYS
High Quality Water (HQW) Zones	7 DAYS
Slopes steeper than 3:1	7 DAYS
Slopes 3:1 or flatter	14 DAYS
All other areas with slopes flatter than 4:1	14 DAYS

STABILIZATION TIME FRAMES

ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS OR 21 CALENDAR DAYS AND AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.

DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE TOWN AND COUNTY. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ACHIEVING TO ALL CITY, COUNTY AND STATE CODES AND CONSTRUCTION STANDARDS.

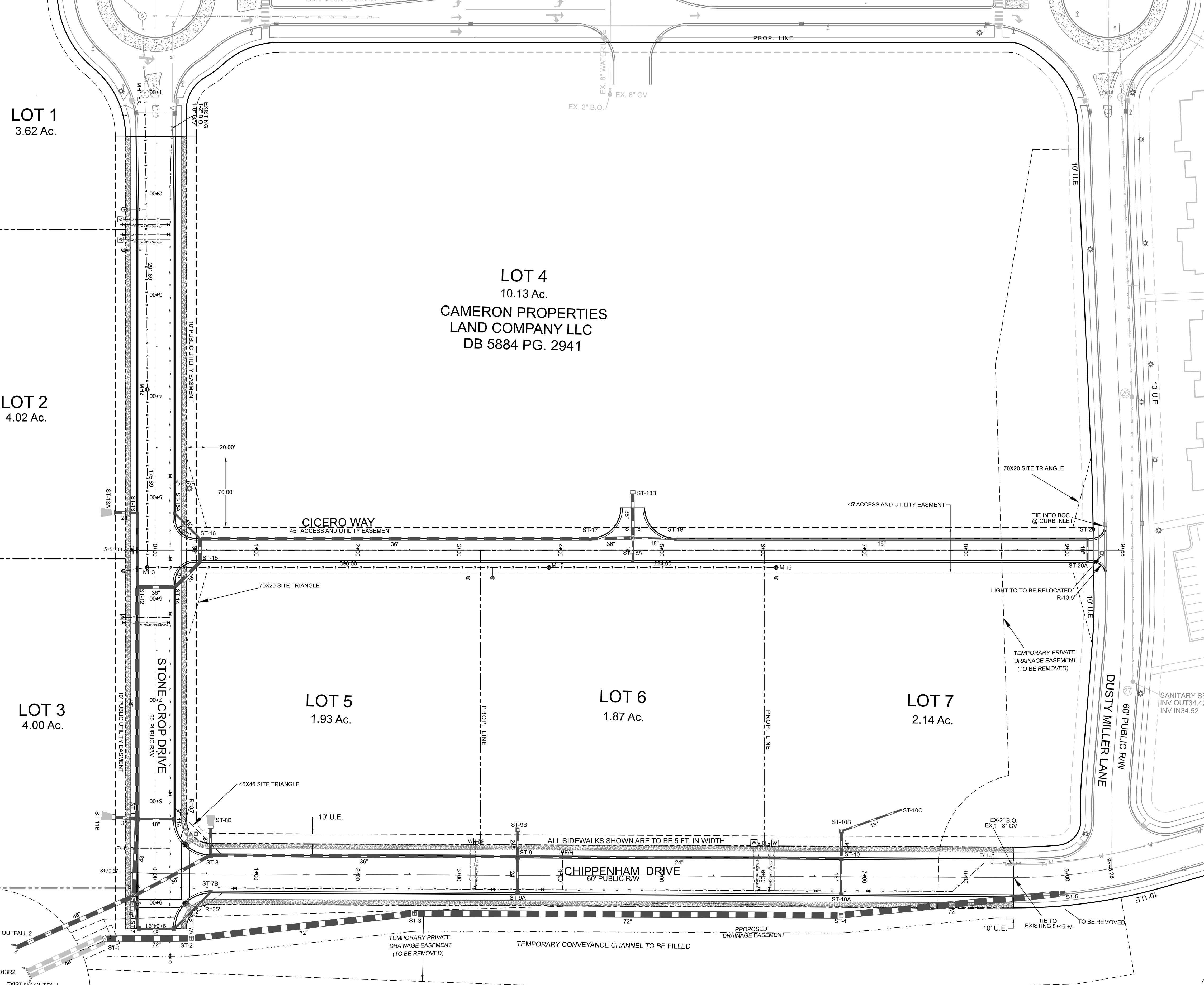
No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.

NOTE WELL: SEWER PIPE (SIZED 8" THROUGH 12") SHALL BE CLASS 150, SDR 18, CONFORMING TO AWWA C300 REQUIREMENTS. SEE SPECIFICATIONS FOR ADDITIONAL PIPE SIZES, CLASSES AND SCHEDULES (TYPICAL).

THESE MINIMUM SLOPES ARE:
0.80% FOR 6" DIAMETER PIPE
0.40% FOR 8" DIAMETER PIPE
0.28% FOR 10" DIAMETER PIPE
0.22% FOR 12" DIAMETER PIPE

NOTE WELL: C-900 PVC OR DIP IS TO BE USED FOR ANY SEWERS WITH A DEPTH GREATER THAN 12' (TYPICAL). INSIDE DROP MANHOLES SHALL BE A MINIMUM OF 5' DIAMETER. A DROP PIPE SHALL BE PROVIDED FOR SEWER ENTERING A MANHOLE 30' ABOVE MANHOLE INVERT. SEE DETAIL SHEET.

NOTE WELL: IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE MINIMUM SEWER SLOPES SPECIFIED BY STATE REGULATIONS ARE ACHIEVED.



NOTE WELL:
1) CLASS IV RCP SHALL BE USED WHEN COVER IS LESS THAN 2.0' FOR STORM SEWER

NOTE WELL:
1) CONTRACTOR TO ENSURE THAT STREET PAVEMENT & CURBING IS PLACED SO AS TO DRAIN POSITIVELY TO CURB INLETS AND DRAINAGE STRUCTURES.

NOTE WELL:
MULTIPLE UTILITIES SHOWN GRAPHICALLY IN PROFILE. DEVIATIONS NOTED AS SHOWN. MAINTAIN 36" COVER AND USE DIP AT CROSSINGS WHEN REQUIRED. SEE COVER SHEET NOTES.

NOTE WELL:
1. All storm water runoff from built upon areas (i.e. impervious surfaces & roof drainage) to be directed to the storm sewer collection system (i.e. storm inlets or ponds) by swales, overland flow, additional grading, or landscaping inlets.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

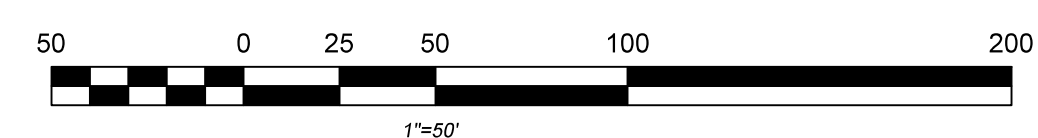
REV. NO.	REVISIONS	DATE
1	TRC	4-1-19

SITE PLAN (PROPOSED INFRASTRUCTURE AREA)
The Pointe at Barclay Street and Utility Extensions
CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-2892

Date: 01-03-19
Scale: HORZ: 1"= 50'
Drawn: GW
Checked: GW
Project No: 5834
Sheet No: SRB-4, SRB-7



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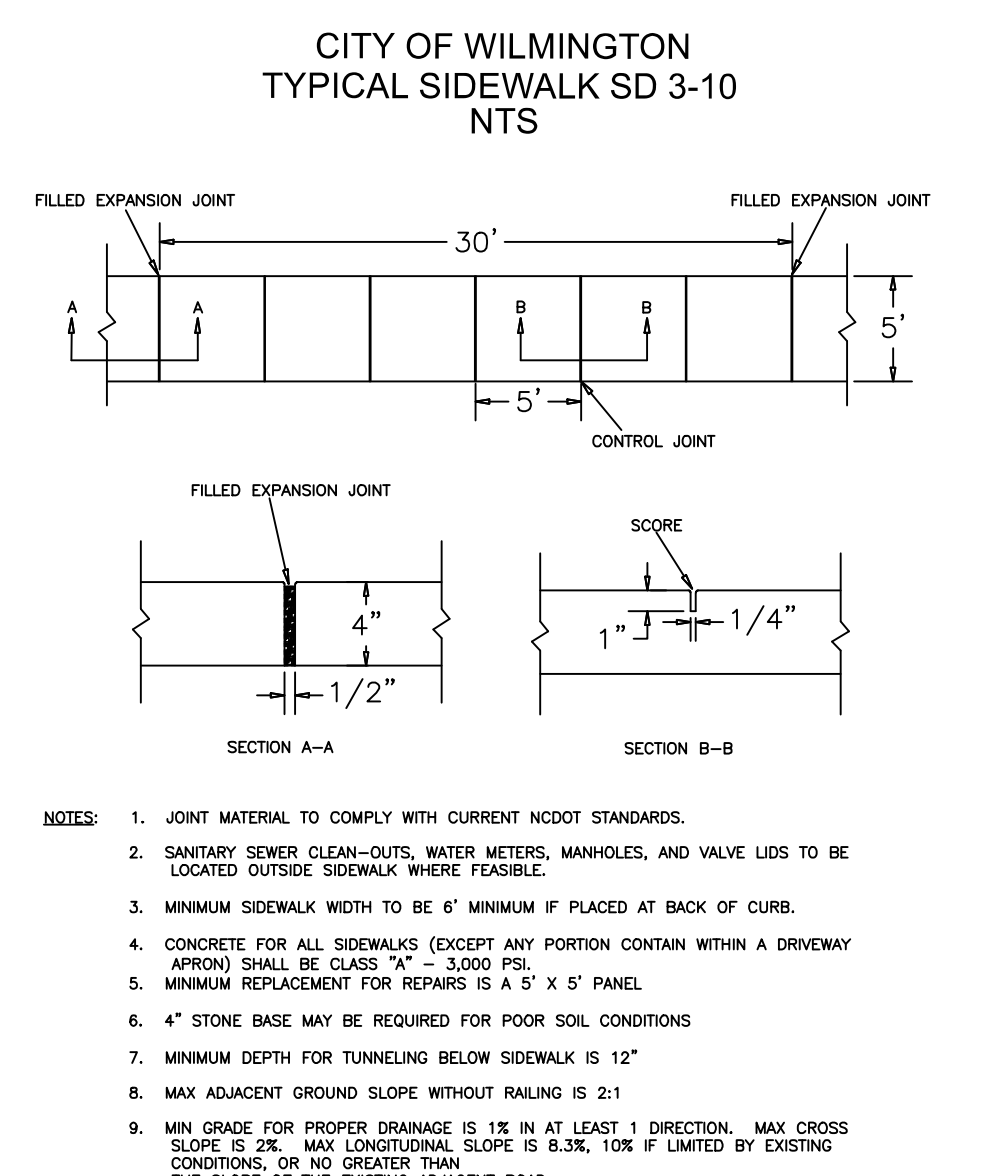
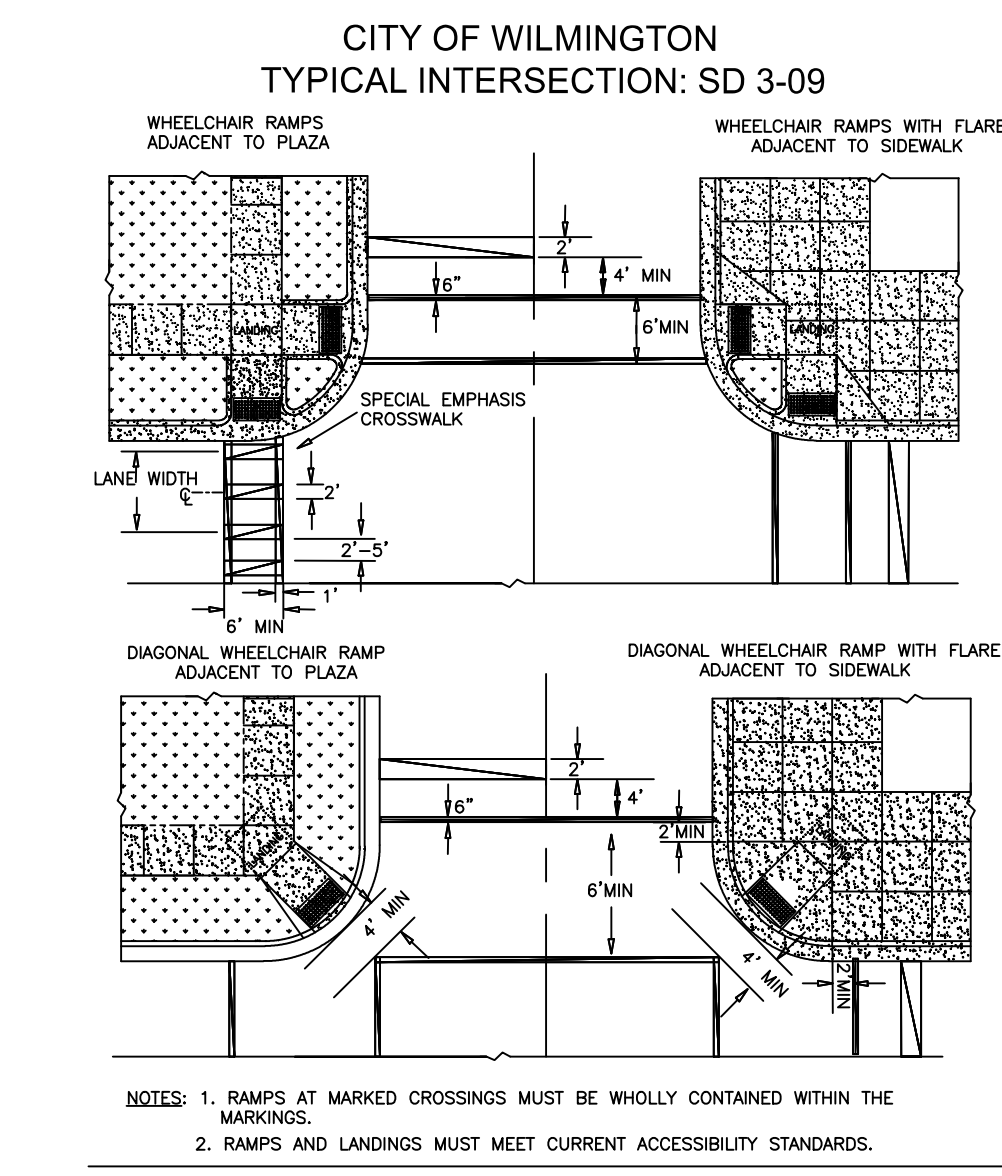
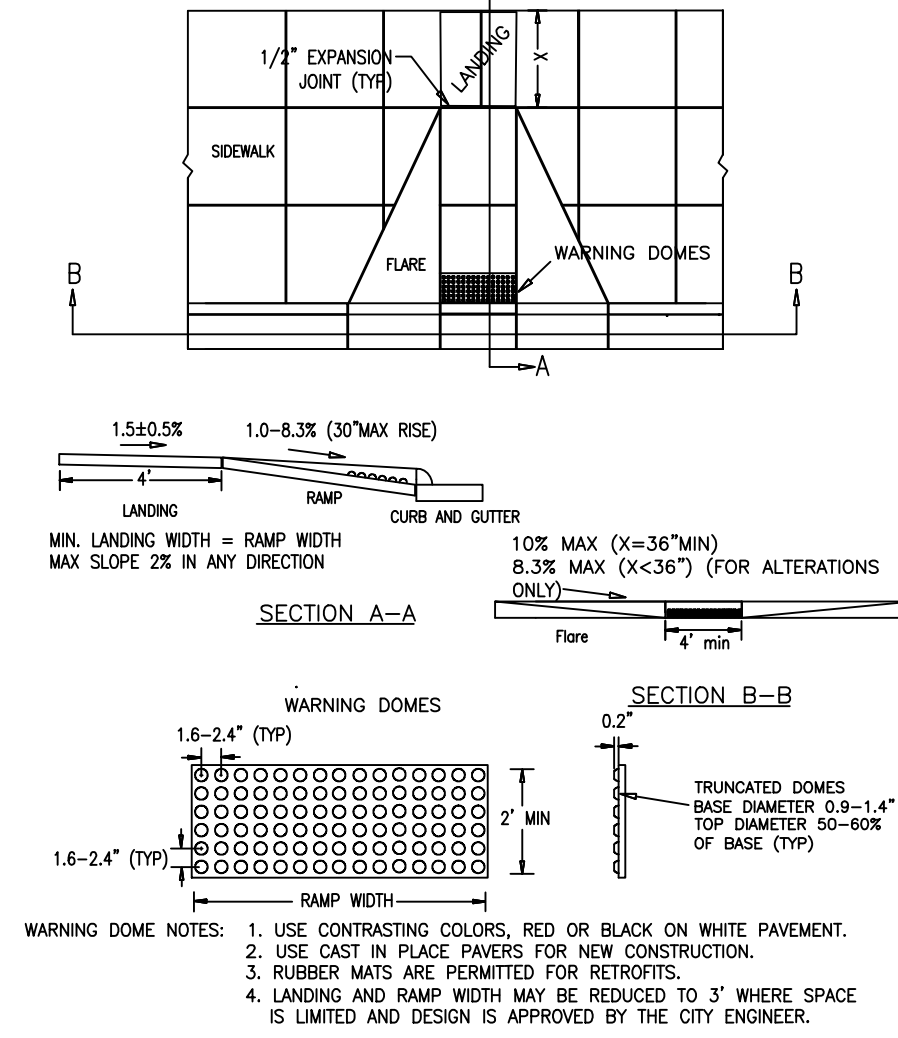
CITY STANDARD NOTES:

- 1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.

- 1. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
2. PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
3. IF THE CONTRACTOR DESIRES CPFA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.

ADDITIONAL NOTES:

- 1. THIS MAP IS PRELIMINARY, NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
2. ALL DISTANCES AS SHOWN ARE HORIZONTAL.
3. SEWER PROVIDED BY CPFA.
4. WATER PROVIDED BY CPFA.
5. SITE WILL MEET ALL ZONING REQUIREMENTS.
6. REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
7. STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
8. NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
9. ALL UTILITIES UNDERGROUND.
10. LANDSCAPING AND LIGHTING PLAN BY OTHERS.



ADDITIONAL NOTES CONT.:

- 14. This property is not located within a special flood hazard area according to Flood Insurance Rate Map Community Panel #37203126A, effective date April 3, 2006.
15. Handicap Ramps shall be provided at all intersections.
16. 15 suitable trees per acre are to be preserved or planted in accordance with City of Wilmington standards.
17. Refuse collection by dumpster and private hauler.
18. Reflectors shall be Installed As Per City And NCDOT Standards.

UTILITY NOTES

- 1. CPFA STANDARD DETAIL SHEETS FOR SEWER AND WATER TAPS TO BE INCLUDED AS A PART OF THIS PLAN, ATTACHED.
2. 48-HOUR NOTICE AND 3 COMPLETE SETS OF PLANS REQUIRED FOR PRE-CONSTRUCTION MEETING BY CONTRACTOR.
3. NCDOT ENCROACHMENT REQUIRED FOR ANY WORK IN PUBLIC RWY.
4. ALL FEES TO BE PAID PRIOR TO PRE-CONSTRUCTION MEETING.

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

- 1. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
2. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN THE END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
3. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP WITH PROTECTO 401 CERAMIC EPOXY LINING.

ADDITIONAL NOTES: CPFA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK. CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CPFA. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CPFA TECHNICAL STANDARDS.

ADDITIONAL UTILITY/GRADING NOTES

- 1. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE TO RECEIVING STRUCTURES. ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (i.e. IMPERVIOUS SURFACES AND ROOF DRAINAGES) TO BE DIRECTED TO STORM SEWER COLLECTION SYSTEM (i.e. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING, OR LANDSCAPING INLETS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, REALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
3. CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
4. MINIMUM SEPARATION SHALL BE MAINTAINED AS FOLLOWS:
a. HORIZONTAL CLEARANCE OF 10 FEET BETWEEN SANITARY SEWER AND WATER MAINS.
b. HORIZONTAL CLEARANCE OF 10 FEET BETWEEN STORM SEWER AND WATER MAINS.
c. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN SANITARY SEWER AND WATER OR WHERE SEWER LINE CROSSES ABOVE WATER MAIN, BOTH PIPES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
d. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
e. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
5. SEE DETAIL SHEETS FOR TYPICAL UTILITIES HOOKUPS.
6. ALL STREETS ARE PROPOSED TO BE PUBLIC (BUILT TO CITY OF WILMINGTON STANDARDS) N.C.D.O.T. PAVEMENT AND SUBGRADE STANDARDS.
7. ALL SANITARY SEWER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
8. TWO VALVES ARE REQUIRED AT "T" INTERSECTIONS AND ONE VALVE ON THE WATER LINE TO FIRE HYDRANTS.
9. A BLOW-OFF VALVE IS REQUIRED AT THE TERMINUS OF ALL "DEAD END" WATER LINES.
10. SANITARY SEWER, STORM, WATER, AND OTHER PERTINENT DETAILS/SPECIFICATIONS TO BE PROVIDED WITH CONSTRUCTION PLANS AND SHALL MEET OR EXCEED CITY AND CPFA DESIGN STANDARDS.

ADDITIONAL FIRE DEPARTMENT NOTES:

- HYDRANTS MUST BE WITHIN 150' OF THE FDC
- THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
- LANDSCAPING MAY NOT BLOCK ANY FDC OR HYDRANT WITH A 3' CLEAR SPACE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC
- CONTRACTOR TO MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES DURING CONSTRUCTION
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO BUILDING CONSTRUCTION
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT

ADA NOTES

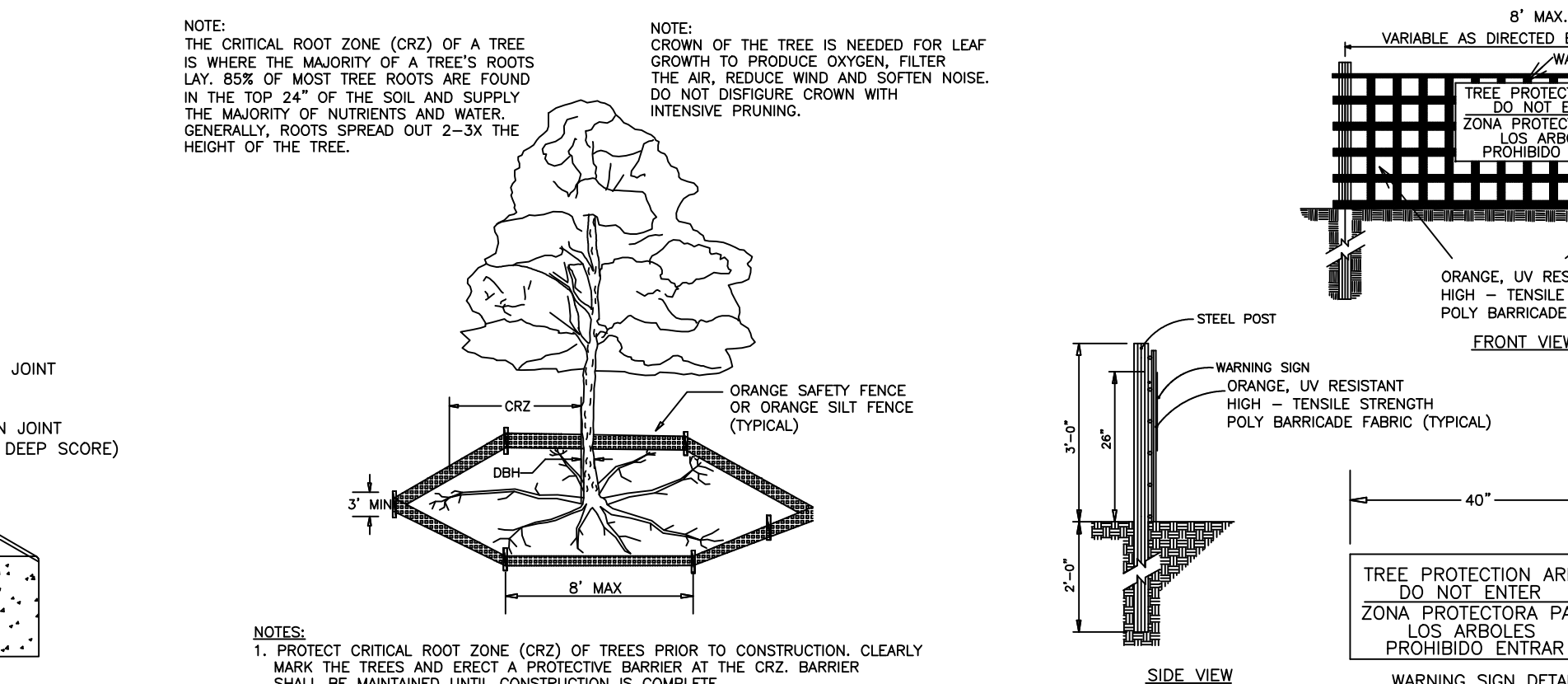
- I. LOCATION OF WHEELCHAIR RAMPS:
1. IN ACCORDANCE WITH THE RATIFIED HOUSE BILL 1296, ALL STREET CURBS IN NORTH CAROLINA BEING CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PROCEDURES, TRAFFIC OPERATIONS, REPAIRS, CORRECTION OF UTILITIES OR ALTERED FOR ANY REASON AFTER SEPTEMBER 1973 SHALL PROVIDE WHEELCHAIR RAMPS FOR THE PHYSICALLY HANDICAPPED AT ALL INTERSECTIONS WHERE BOTH CURB AND GUTTER AND SIDEWALKS ARE PROVIDED AND AT OTHER MAJOR POINTS OF PEDESTRIAN FLOW.
2. WHEELCHAIR RAMPS SHOULD BE LOCATED AS INDICATED IN DETAIL DRAWINGS. HOWEVER EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. MAY AFFECT PLACEMENT.
II. CONSTRUCTION NOTES:
1. NO SLOPE SHALL EXCEED 1"=1" (12:1) ON THE RAMP OR SIDEWALK.
2. IN NO CASE SHALL THE WIDTH OF WHEELCHAIR RAMPS BE LESS THAN 40" (3'-4") WIDTHS MAY EXCEED 40" IF NECESSARY.
3. USE CLASS 'A' CONCRETE WITH THE SURFACE HAVING A ROUGH, NON-SKID TYPE FINISH.
4. 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE WHEELCHAIR RAMP JOINS ANY RIGID PAVEMENT OR STRUCTURE.
5. CONSTRUCTION METHODS SHALL CONFORM WITH THOSE OF THE GOVERNING BODY WHICH HAS JURISDICTION OF THE PARTICULAR STREET.

- 1. THE INSIDE PEDESTRIAN CROSSWALK LINES SHALL BE ESTABLISHED BY BISECTING THE INTERSECTION RADI WHERE MARKED (SEE NOTE 6).
2. THE WHEELCHAIR RAMP SHALL BE LOCATED SO THAT THE BEGINNING OF THE WHEELCHAIR RAMP WILL BE TWO FEET FROM THE INSIDE PEDESTRIAN CROSSWALK LINE.
3. THE WIDTH OF THE PEDESTRIAN CROSSWALK SHALL BE 10 FEET UNLESS A GREATER WIDTH IS REQUIRED TO ACCOMMODATE THE PEDESTRIAN CROSSWALK LINE.
4. STOP BARS SHALL BE USED WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN, OR OTHER LEGAL REQUIREMENTS.
5. PARKING SHALL BE ELIMINATED A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK.
6. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THIS IS AVAILABLE FROM THE SUPERINTENDENT OF DOCUMENTS, U.S GOVERNMENT

ADDITIONAL NOTES:

- 1. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat.
2. A sign shall be placed at the northern and eastern boundary of the property indicating that a future connection will be opened when the property to the north and east develops. Please note this on the site plan.
3. Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

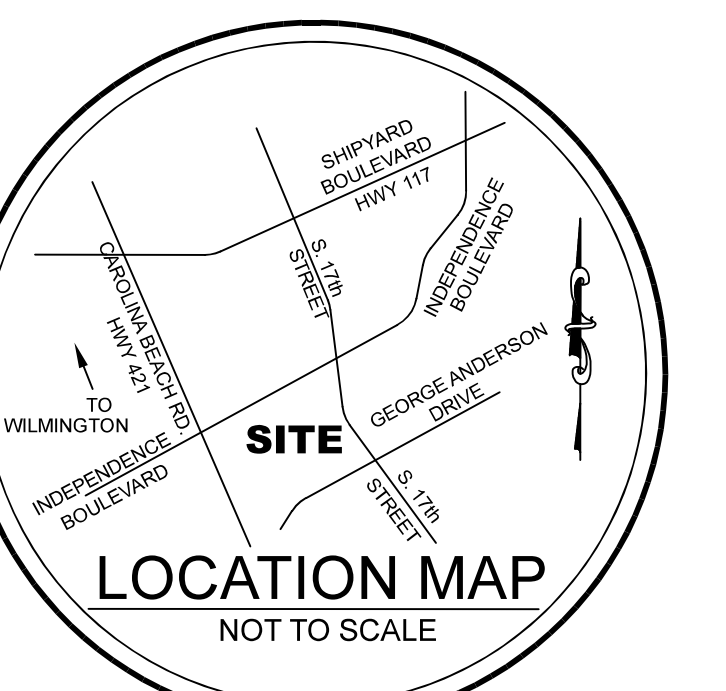
CITY OF WILMINGTON TREE PROTECTION STD DETAIL: SD 15-09



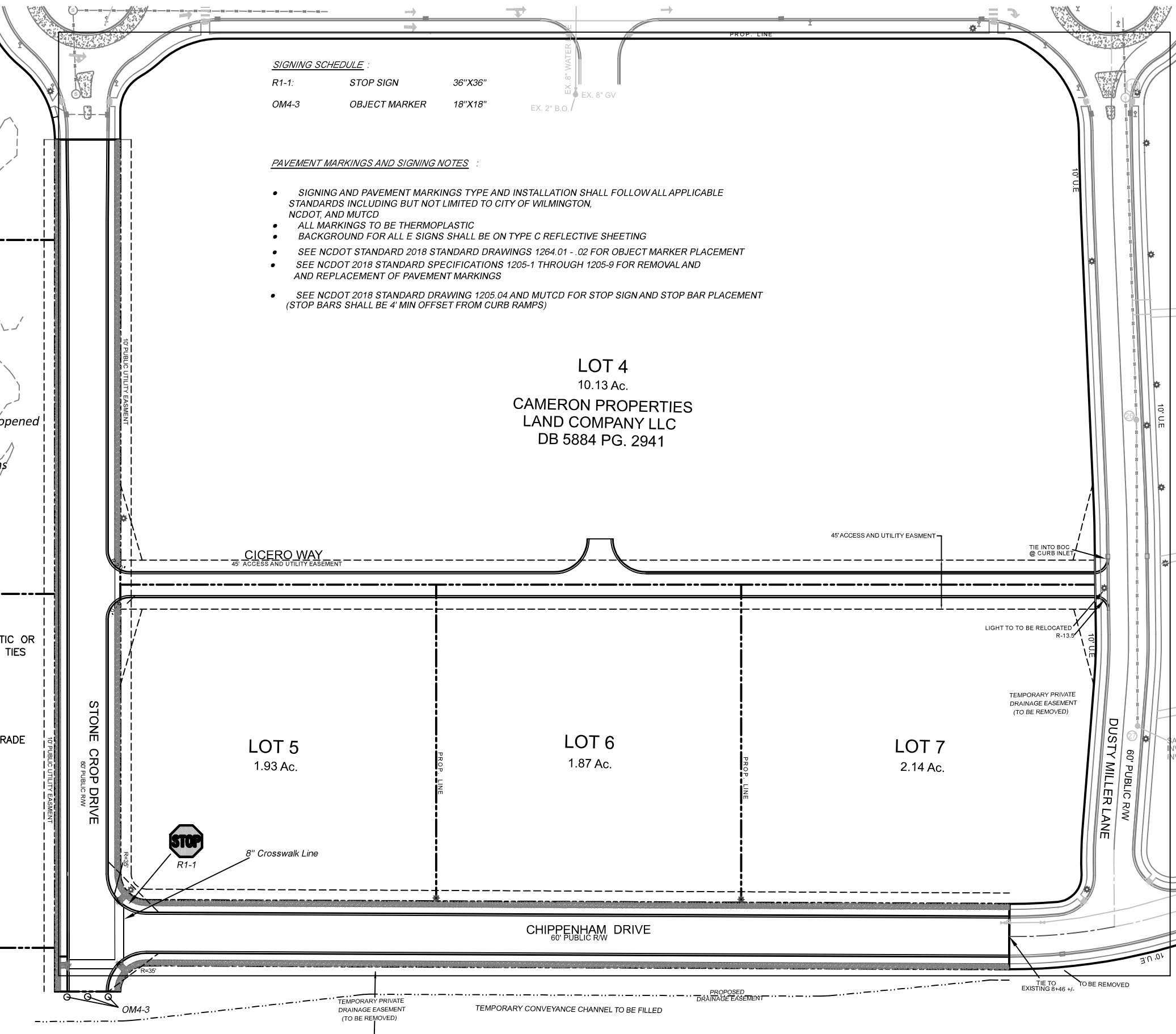
- NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES WITH VEHICLES. SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY, DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

Approved Construction Plan

Name: Date:
Planning:
Traffic:
Fire:



SIGNING AND MARKING DETAIL NTS

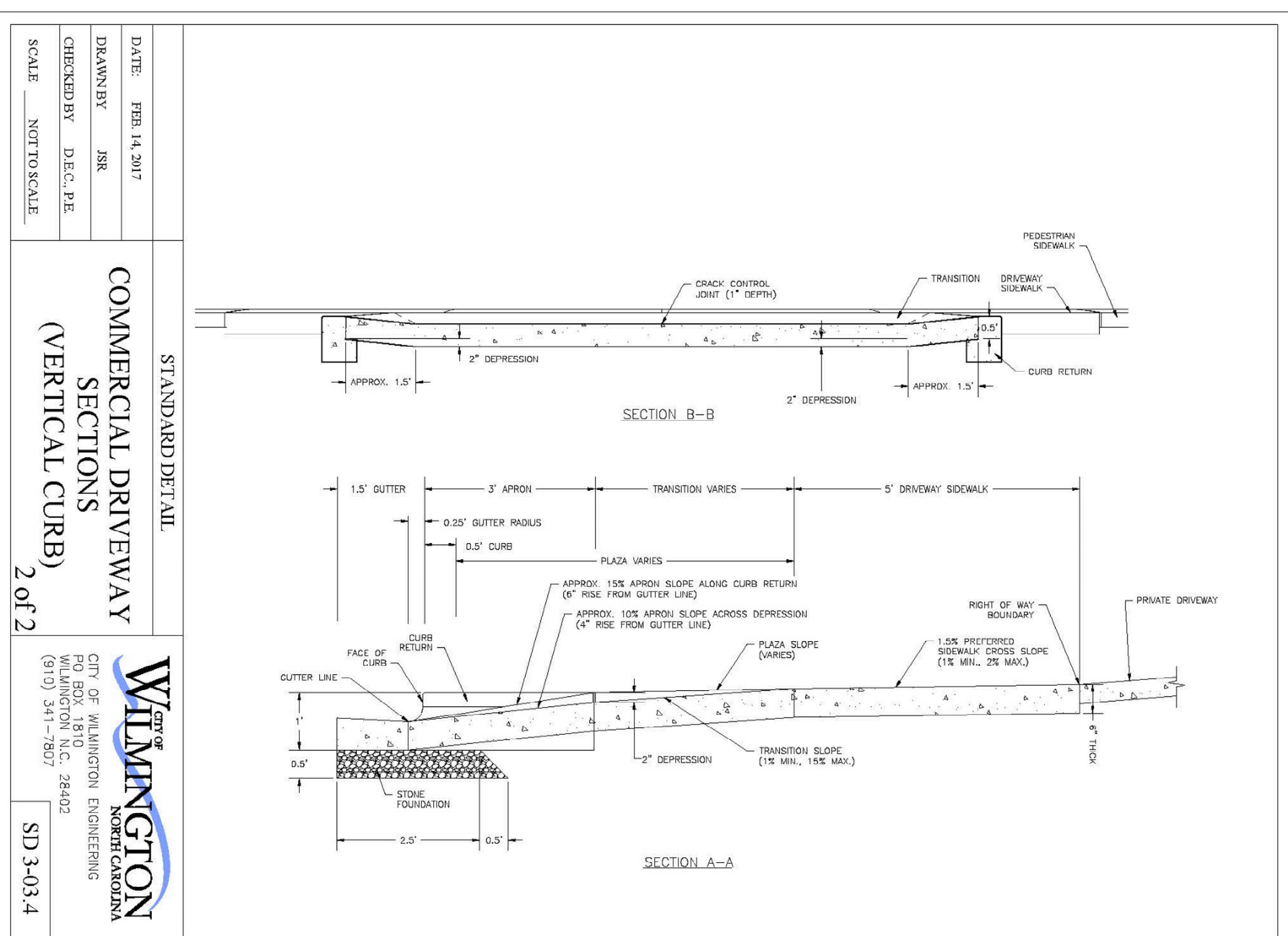
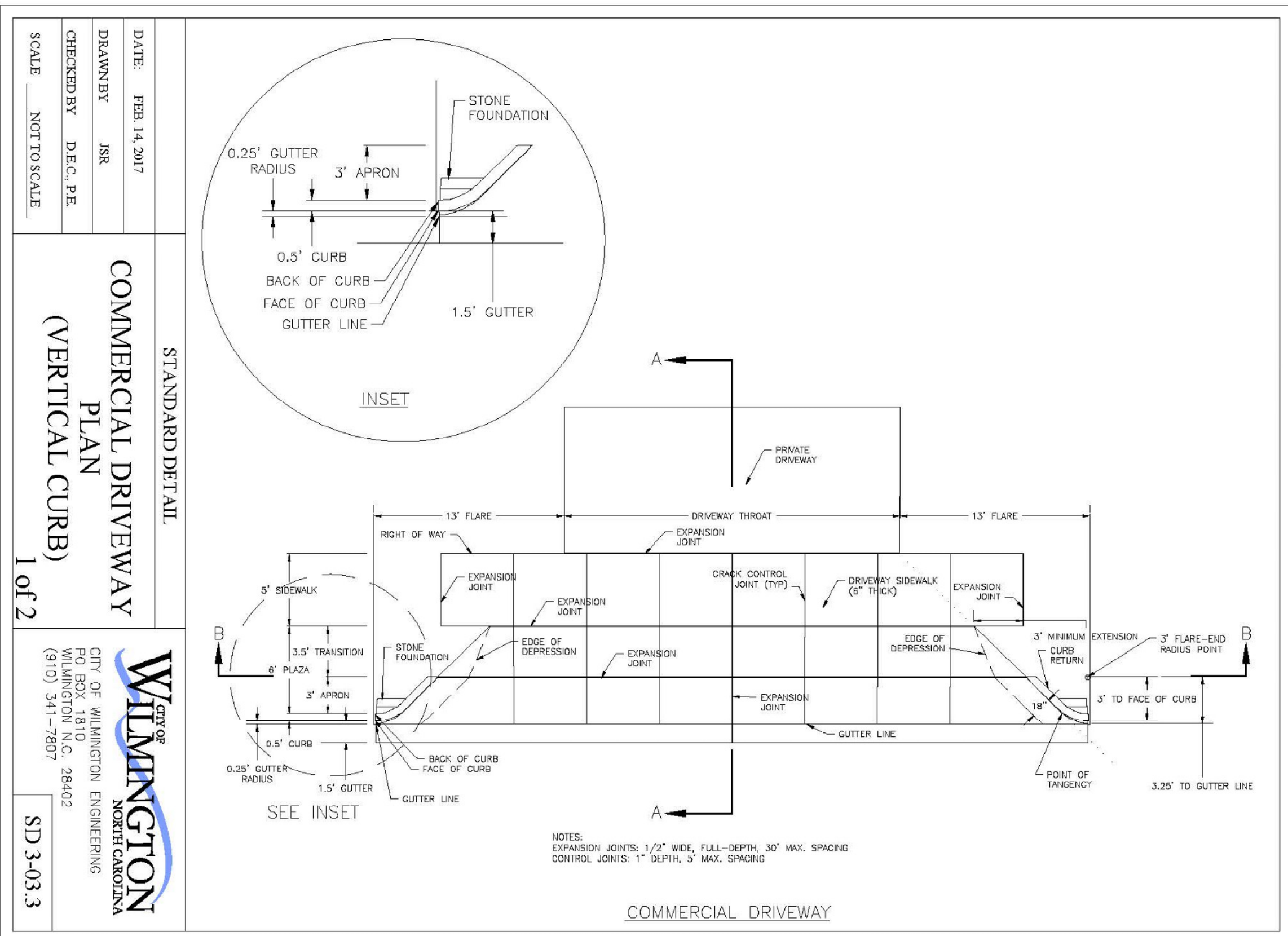


SRB CONDITIONS

- 1. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
2. APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE TECHNICAL APPROVAL OF A SITE PLAN. FINAL APPROVAL BY THE TRC AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
3. IF FOR ANY REASON ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE PRELIMINARY PLAN SHALL BE NULL AND VOID.
4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PRELIMINARY PLAN AS SUBMITTED AND APPROVED.
5. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.
6. THE LOCATION OF UTILITIES SHALL COMPLY WITH CITY'S TECHNICAL STANDARDS & SPECIFICATIONS AS DETERMINED TO BE FEASIBLE BY THE TRC.

Table with 3 columns: REV. NO., REVISIONS, DATE. Row 1: 1, TRC, 4/1/2019.

GENERAL NOTES AND DETAILS-SRB
THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS
CITY OF WILMINGTON
OWNER: CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2676
HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-0297
LICENSE # C-6097



STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

Approved Construction Plan Name Date Planning Traffic Fire

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

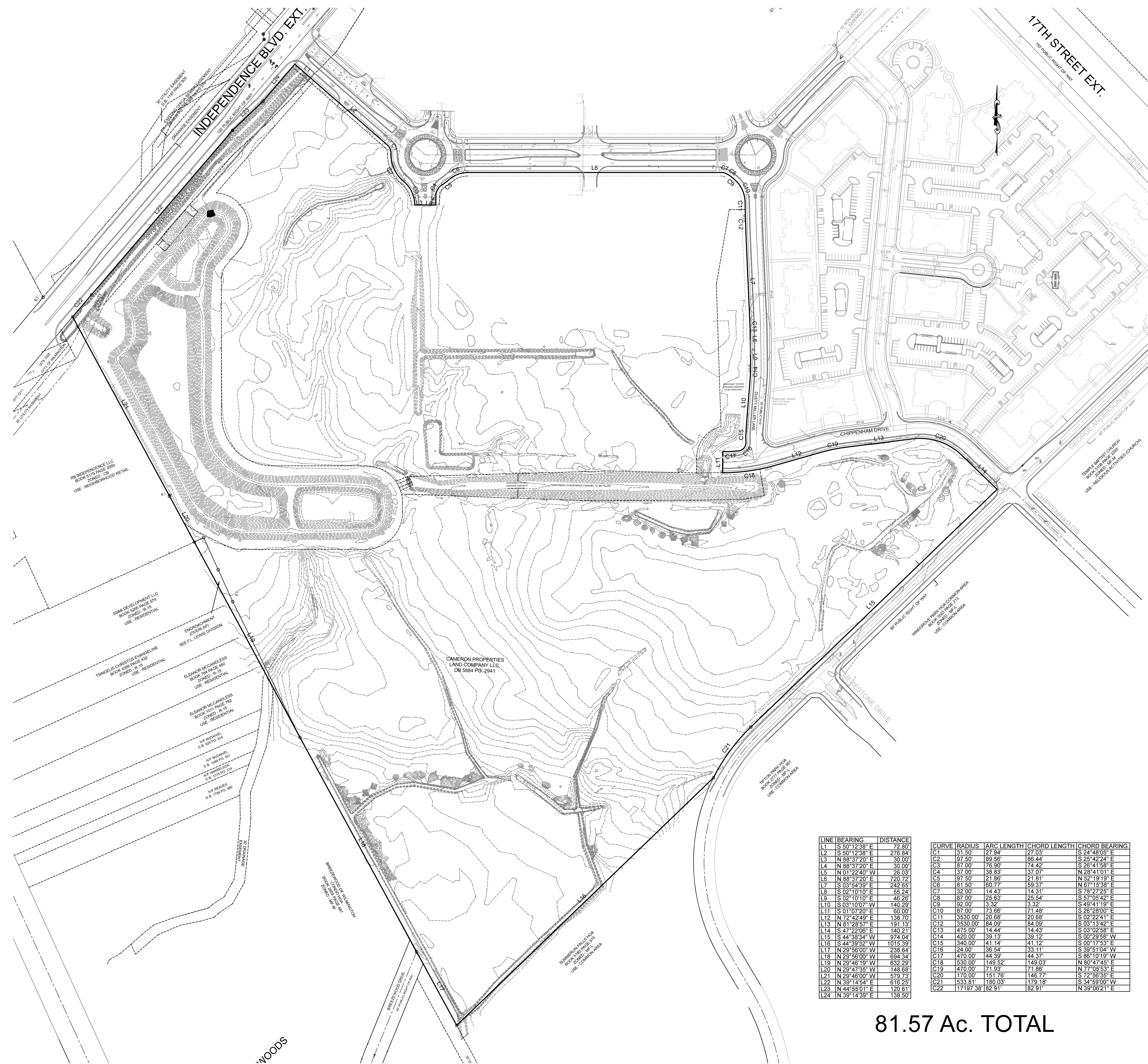
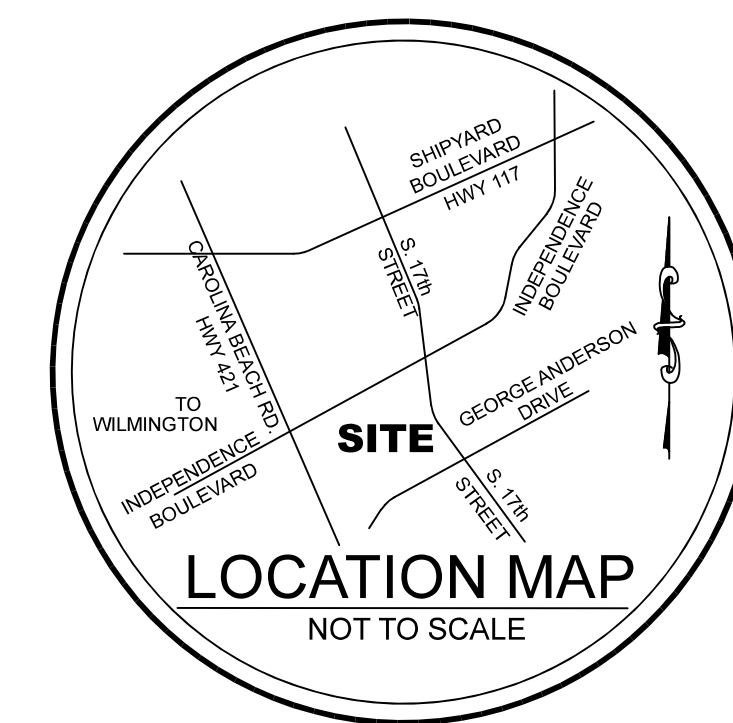
REV. NO.	REVISIONS	DATE

GENERAL NOTES AND DETAILS-SRB
THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS
 CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: CAMERON PROPERTIES LAND COMPANY, LLC
 1201 GLEN MEADE ROAD PO BOX 3649
 WILMINGTON, NC 28406
 910-762-2676

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-6002
 LICENSE # C-5597

Date: 01-03-19
 Scale: AS SHOWN
 Drawn: GW
 Checked: GW
 Project No: 5834
 Sheet No: SRB-6 SRB-7



SITE INVENTORY TABLE:

ADDRESS: 3743 INDEPENDENCE BLVD.
WILMINGTON, NC 28412

TAX PARCEL IDENTIFICATION NUMBERS:
R06500-003-031-000
DB 5884 PG 2941

ZONING: RB, O&I-1, MF-M

CAMA LAND CLASSIFICATION: URBAN
HISTORICAL AND ARCHAEOLOGICAL SITES: NONE EXIST
WETLANDS: NONE EXIST
LAND COVER: WOODED (SMALL PINES)

- O & I-1 DIMENSIONAL STANDARDS**
- MINIMUM LOT AREA: 15,000 SF
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM LOT WIDTH: 80'
 - MINIMUM FRONT SETBACK: 20'
 - MINIMUM REAR SETBACK: 20'
 - MINIMUM INTERIOR SIDE SETBACK: 10'
 - MINIMUM CORNER LOT SETBACK: 20'
 - HEIGHT: 45'

- RB DIMENSIONAL STANDARDS**
- MINIMUM LOT AREA 1 ACRE
 - MINIMUM LOT WIDTH 100 FT.
 - MINIMUM LOT COVERAGE 40%
 - MINIMUM FRONT SETBACK 25 FT.
 - MINIMUM REAR SETBACK 15 FT.
 - MINIMUM INTERIOR SIDE SETBACK 0 FT.
 - MINIMUM CORNER SIDE SETBACK 25 FT.
 - MAXIMUM HEIGHT 35 FT.

- MF-M DIMENSIONAL STANDARDS**
- MINIMUM LOT AREA 20,000 S.F.
 - MINIMUM DETACHED 5,000 S.F.
 - MAXIMUM DENSITY 17 UNITS PER ACRE
 - MINIMUM LOT WIDTH 100 FT.
 - MAXIMUM LOT COVERAGE 50%
 - MAXIMUM HEIGHT 35 FT.

TOTAL ACREAGE (INCLUDES STREETS R/W) = 81.57 ACRES

- LOT 1 - 3.62 AC
- LOT 2 - 4.02 AC
- LOT 3 - 4.00 AC
- LOT 4 - 10.13 AC
- LOT 5 - 1.93 AC
- LOT 6 - 1.87 AC
- LOT 7 - 2.14 AC
- LOT 8 - 51.66 AC
- STREET R/W - 2.21 AC

EXISTING STORMWATER PERMIT: SWB 951208

- PROPOSED IMPERVIOUS
- STREETS - 62,150 SF
- DRIVE - 21,480 SF
- SIDEWALKS - 15,535 SF
- TOTAL IMPERVIOUS - 99,165 SF
- % IMPERVIOUS - 2%

EXISTING GROUND COVER: WOODED

SOILS DATA:

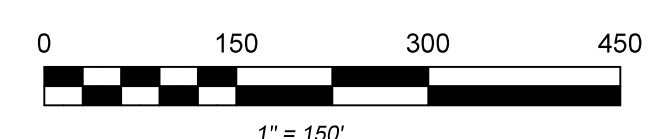
- PRIMARILY MURVILLE FINE SAND (Mu)
- EROSION FACTOR - 0.05
- HIGHLY PERMEABLE, HYDRAULIC GROUP A/D
- AASHTO A-2-4

SEWER DEMAND

- AVERAGE DAILY DEMAND 60,000 GPD
- PEAK HOURLY DEMAND 105 GPM

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
L1	S 50°12'38" E	72.80'	C1	31.50'	27.94'	27.03'	S 24°48'05" E
L2	S 50°12'38" E	276.84'	C2	91.40'	169.55'	166.44'	S 25°42'24" E
L3	N 88°37'20" E	30.00'	C3	87.00'	78.90'	74.42'	S 26°41'58" E
L4	N 88°37'20" E	30.00'	C4	37.00'	38.83'	37.07'	N 28°41'01" E
L5	N 01°22'40" W	26.03'	C5	91.50'	121.86'	121.81'	N 52°19'19" E
L6	N 88°37'20" E	270.72'	C6	81.50'	60.77'	59.37'	N 67°15'38" E
L7	S 03°54'39" E	242.65'	C7	32.00'	14.43'	14.31'	S 78°27'25" E
L8	S 02°10'10" E	35.24'	C8	81.00'	25.63'	25.64'	S 57°05'42" E
L9	S 02°10'10" E	46.29'	C9	92.00'	3.32'	3.32'	S 45°41'19" E
L10	S 03°10'07" W	140.29'	C10	87.00'	73.86'	71.48'	S 26°28'00" E
L11	S 01°10'20" E	80.00'	C11	3530.00'	20.85'	20.88'	S 02°22'41" E
L12	N 72°42'49" E	138.70'	C12	3530.00'	84.09'	84.09'	S 03°13'42" E
L13	N 81°28'57" E	191.13'	C13	475.00'	14.44'	14.43'	S 03°02'58" E
L14	S 47°22'06" E	140.21'	C14	420.00'	39.13'	39.12'	S 00°25'58" W
L15	S 44°39'34" W	974.04'	C15	340.00'	41.14'	41.12'	S 00°17'53" E
L16	S 44°39'32" W	1015.39'	C16	24.00'	38.54'	33.11'	S 39°51'04" W
L17	N 29°56'00" W	238.64'	C17	470.00'	44.39'	44.37'	S 86°10'19" W
L18	N 29°56'00" W	694.34'	C18	530.00'	149.52'	149.03'	N 80°47'45" E
L19	N 29°46'19" W	632.29'	C19	470.00'	71.92'	71.86'	N 77°05'53" E
L20	N 29°47'35" W	148.68'	C20	170.00'	151.76'	146.77'	S 72°56'35" E
L21	N 28°46'00" W	579.73'	C21	533.81'	180.03'	179.18'	S 34°59'00" W
L22	N 39°14'54" E	616.25'	C22	17197.38'	82.91'	82.91'	N 39°06'21" E
L23	N 44°55'01" E	170.51'					
L24	N 39°14'39" E	138.50'					

81.57 Ac. TOTAL



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

REV. NO.	REVISIONS	DATE

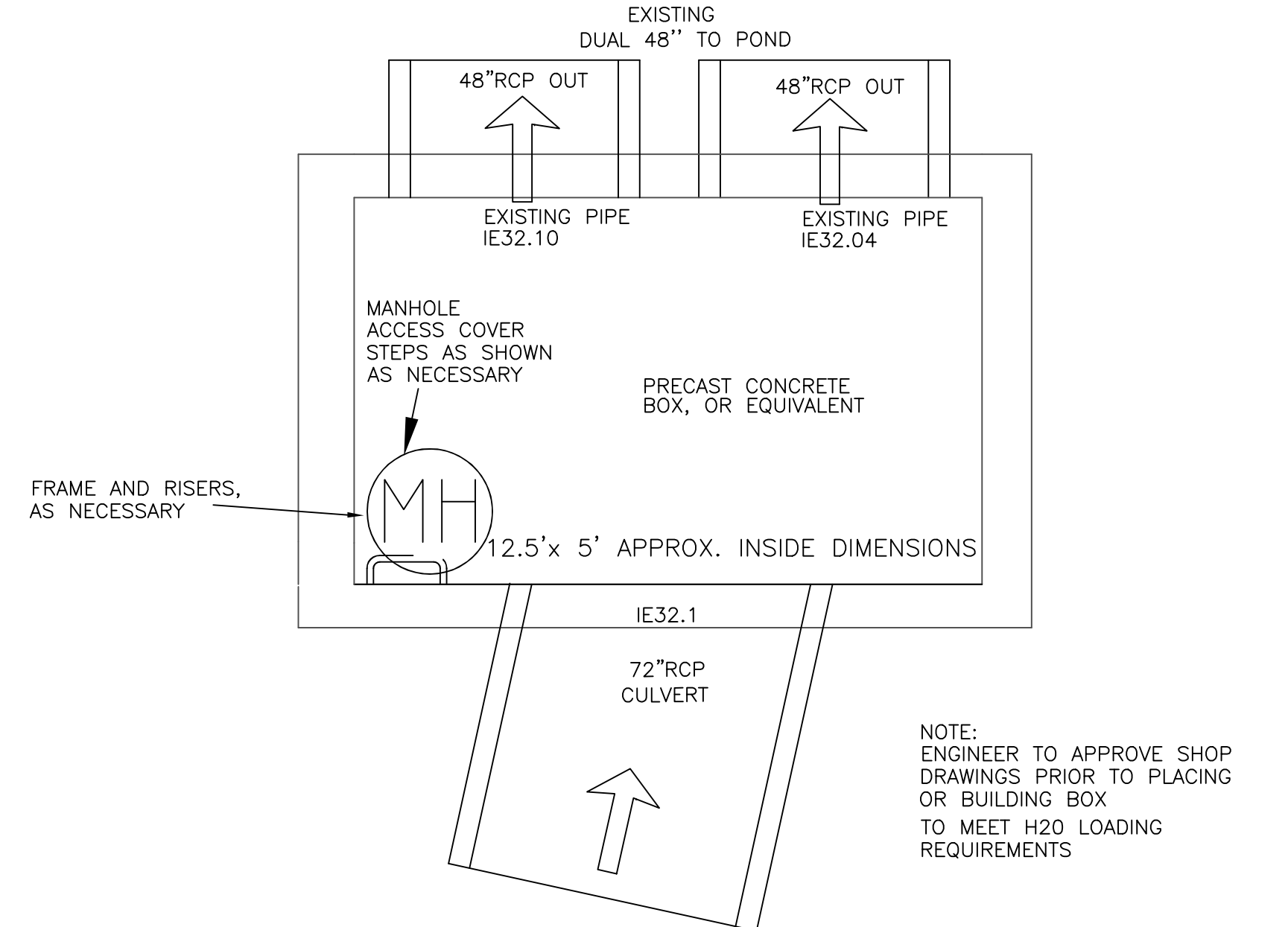
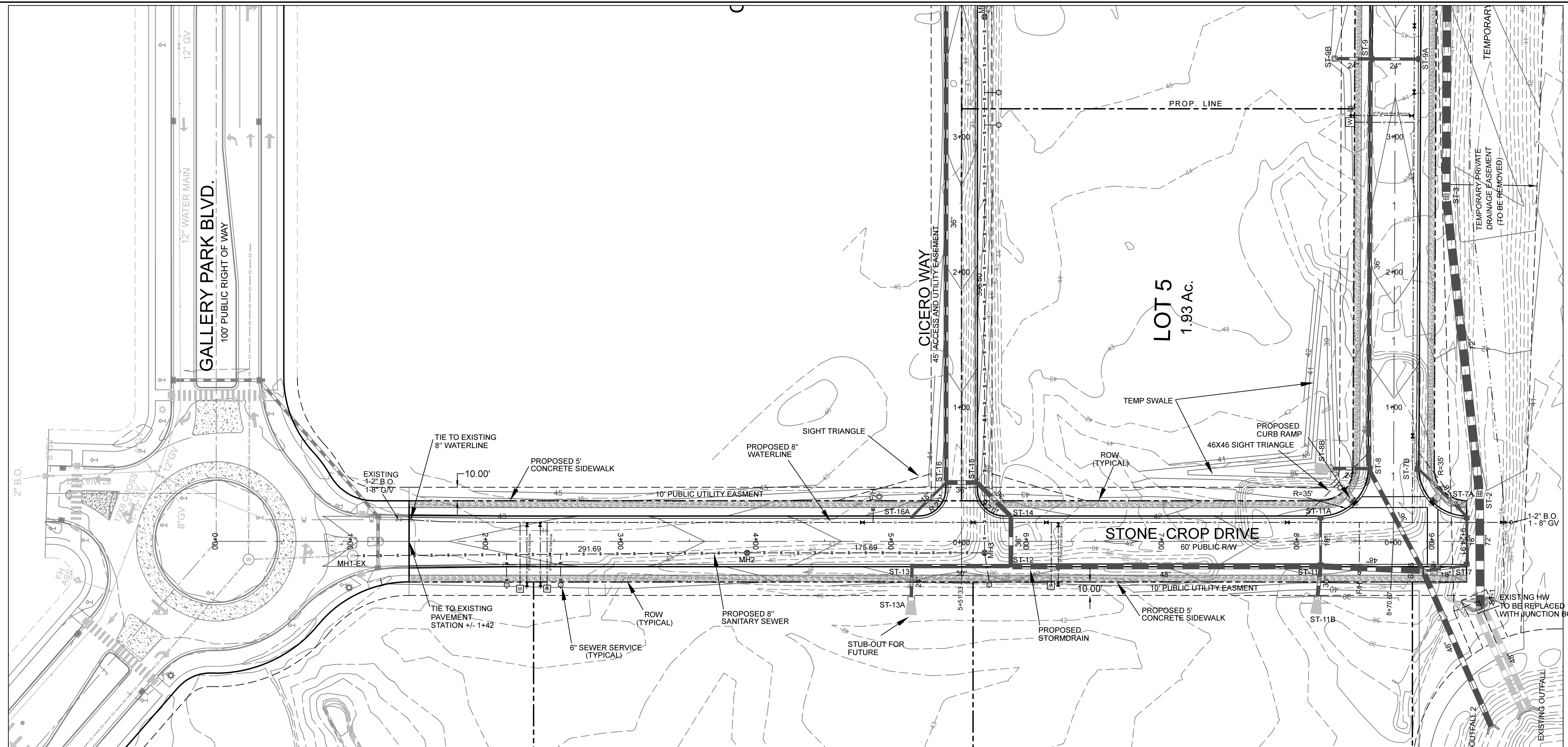
EXISTING CONDITIONS and PROPOSED BOUNDARY
The Pointe at Barclay Street and Utility Extensions
CITY OF WILMINGTON, NORTH CAROLINA

OWNER: CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD, PO BOX 3549
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, NC 28403
PHONE: (910) 343-8002
LICENSE # C-2997

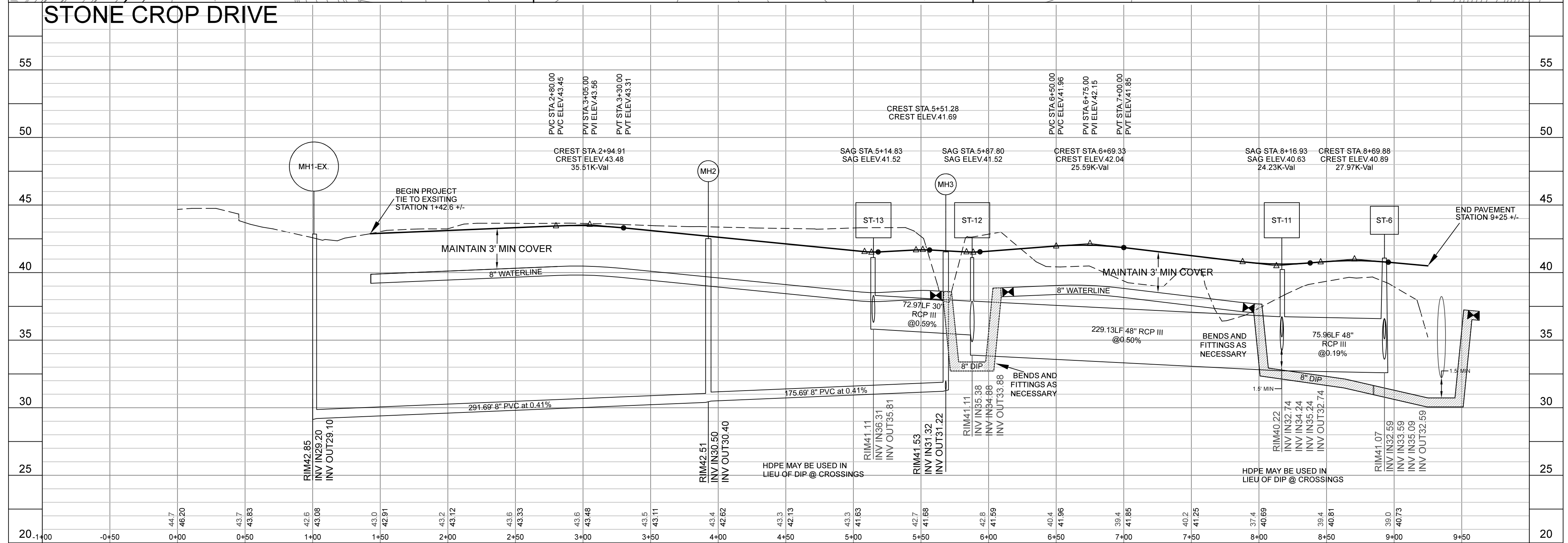
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Scale: HORZ.: 1" = 150'
Drawn: GW
Checked: GW
Project No: 5834
Sheet No: SRB-7 / SRB-7

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JUNCTION BOX ST-1
PLAN VIEW
NTS

NOTE:
ENGINEER TO APPROVE SHOP
DRAWINGS PRIOR TO PLACING
OR BUILDING BOX
TO MEET H₂O LOADING
REQUIREMENTS



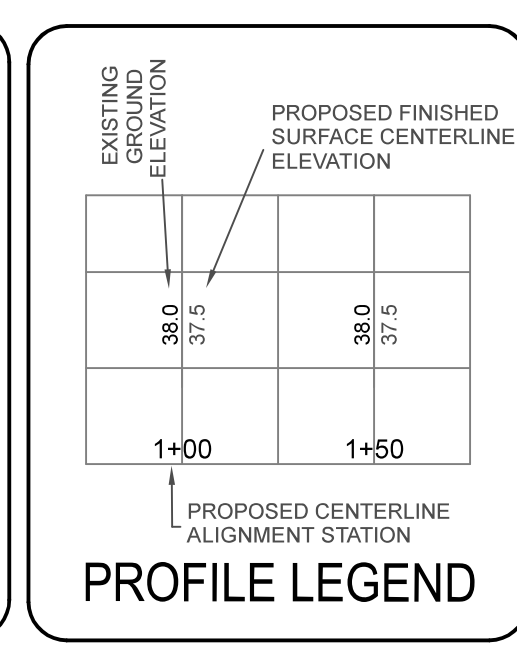
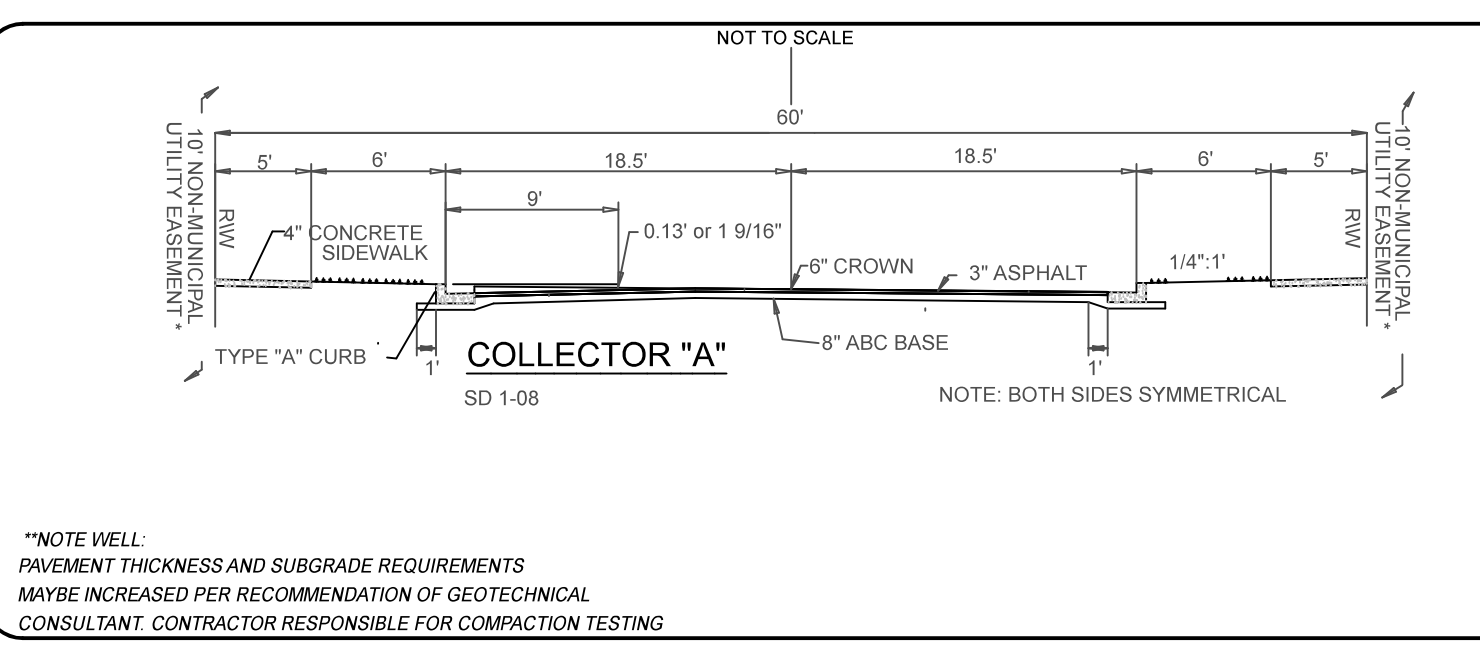
- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:**
1. ALL PROPOSED ADDITIONS TO CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) WATER DISTRIBUTION SYSTEM AND SANITARY SEWER COLLECTION SYSTEMS, AS SHOWN AND SPECIFIED HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE STATE RULES AND THE CFPUA'S MINIMUM TECHNICAL STANDARDS, THE CFPUA MINIMUM TECHNICAL STANDARDS AREA CONTAINED IN THE CURRENT DESIGN GUIDANCE MANUAL, MATERIAL SPECIFICATION MANUAL, TECHNICAL SPECIFICATIONS FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
 2. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
 3. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR. OR MUST ORIGINATE IN THE END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 4. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL ALSO BE CONSTRUCTED OF DIP.
 5. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
 6. NO FLEXIBLE COUPLINGS SHALL BE USED.
 7. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
 8. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
 9. ALL PROPERTY CORNERS WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
 10. UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
 11. A MINIMUM OF 10' OF MAIN LINE SHALL BE REPLACED FOR NEW CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.
- CFPUA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK. CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CFPUA. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH COUNTY and CFPUA TECHNICAL STANDARDS.

Approved Construction Plan		
Name	Date	
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT
PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.

PRELIMINARY PLAN: NOT FOR CONSTRUCTION



NOTE WELL:
ALL SANITARY SERVICES ARE TO BE 6" DIAMETER

NOTE WELL:
1) CLASS IV RCP SHALL BE USED WHEN COVER IS LESS THAN 2.0' FOR STORM SEWER

NOTE WELL:
1) CONTRACTOR TO ENSURE THAT STREET PAVEMENT & CURBING IS PLACED SO AS TO DRAIN POSITIVELY TO CURB INLETS AND DRAINAGE STRUCTURES.

NOTE WELL:
SEWER PIPE (SIZED 8" THROUGH 12") SHALL BE CLASS 150, SDR18 CONFORMING TO AWWA C900 REQUIREMENTS.
SEE SPECIFICATIONS FOR ADDITIONAL PIPE SIZES, CLASSES AND SCHEDULES. (TYPICAL).

NOTE WELL:
C-900 PVC OR DIP IS TO BE USED FOR ANY SEWERS WITH A DEPTH GREATER THAN 12' (TYPICAL). INSIDE DROP MANHOLES SHALL BE A MINIMUM OF 8" DIAMETER

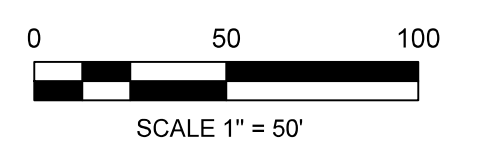
A DROP PIPE SHALL BE PROVIDED FOR SEWER ENTERING A MANHOLE 30" ABOVE MANHOLE INVERT. SEE DETAIL SHEET

NOTE WELL: IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE MINIMUM SEWER SLOPES SPECIFIED BY STATE REGULATIONS ARE ACHIEVED.

THESE MINIMUM SLOPES ARE:
0.60% FOR 6" DIAMETER PIPE
0.40% FOR 8" DIAMETER PIPE
0.28% FOR 10" DIAMETER PIPE
0.22% FOR 12" DIAMETER PIPE

NOTE WELL:
MULTIPLE UTILITIES SHOWN GRAPHICALLY IN PROFILE. DEVIATIONS NOTED AS SHOWN. MAINTAIN 36" COVER AND USE DIP AT CROSSINGS WHEN REQUIRED. SEE COVER SHEET NOTES.

NOTE WELL:
1. All storm water runoff from built upon areas (i.e. impervious surfaces & roof drainage) to be directed to the storm sewer collection system (i.e. storm inlets or ponds) by swales, overland flow, additional grading, or landscaping inlets.



STATION 0+00 THROUGH 10+00 STONE CROP DRIVE		
REV. NO.	REVISIONS	DATE
5		
4		
3		
2		
1		

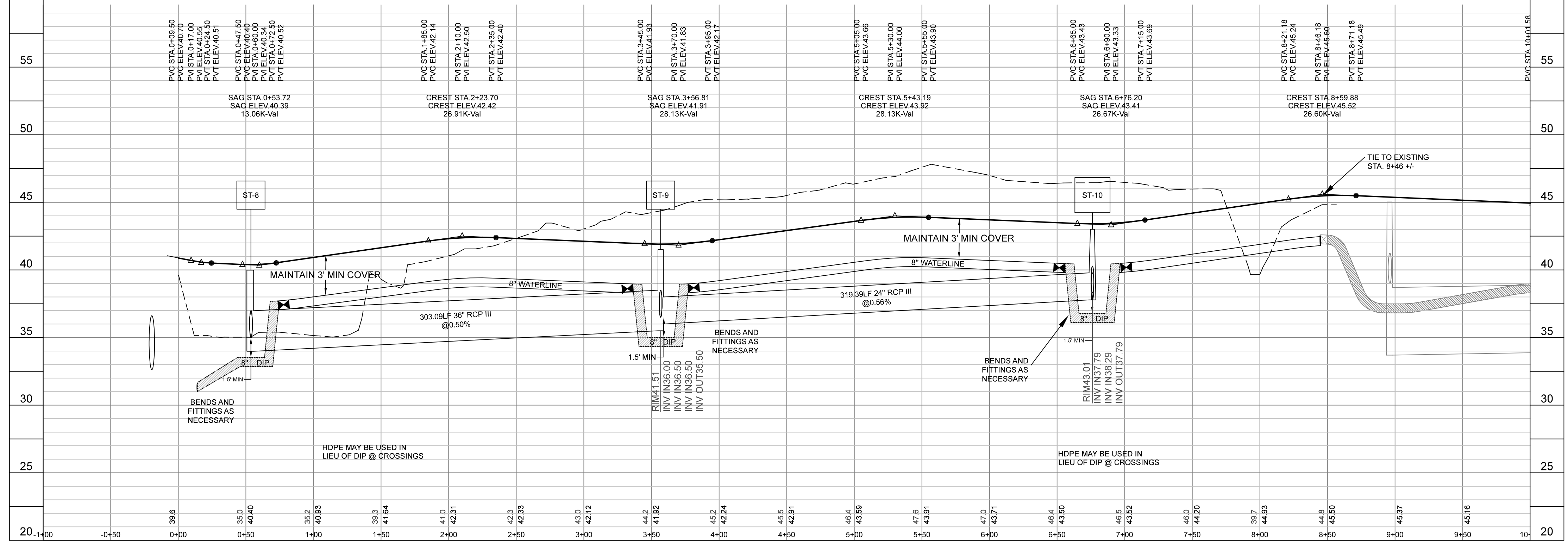
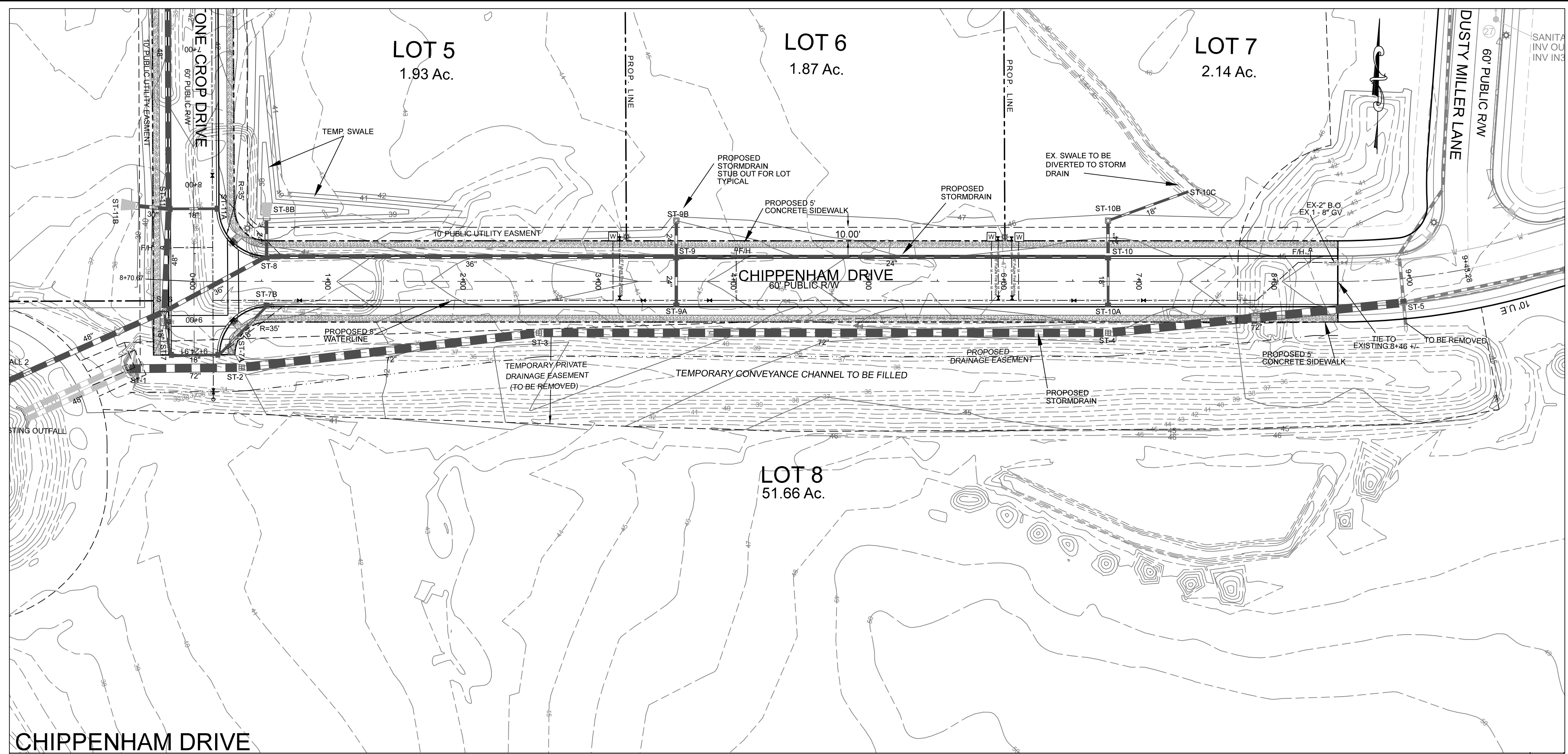
PLANS & PROFILES
THE POINTE AT BARCLAY
STREET AND UTILITY EXTENSIONS
LOCATED IN THE CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA

Date: 4-1-19
Scale: HORIZ: 1"=50'
VERT: 1"=5'
Drawn: GW
Checked: AG
Project No: 12498
Sheet No: PP-1, PP-5

OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-9022
LICENSE # C-6057

agrdy@hdsllm.com



- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:
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Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON

ENGINEERING DEPARTMENT

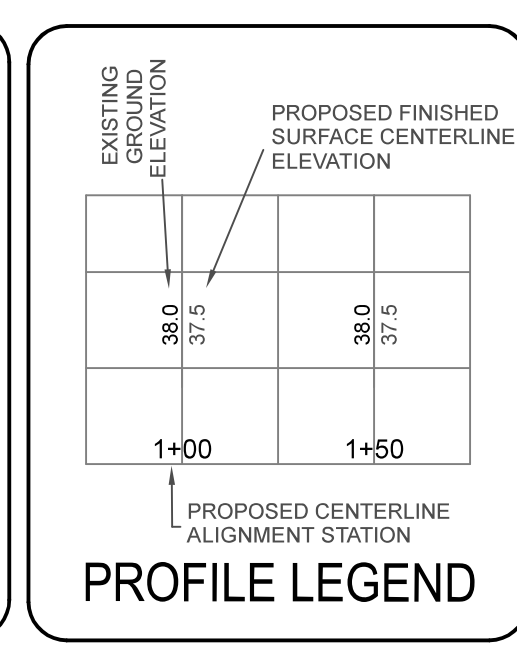
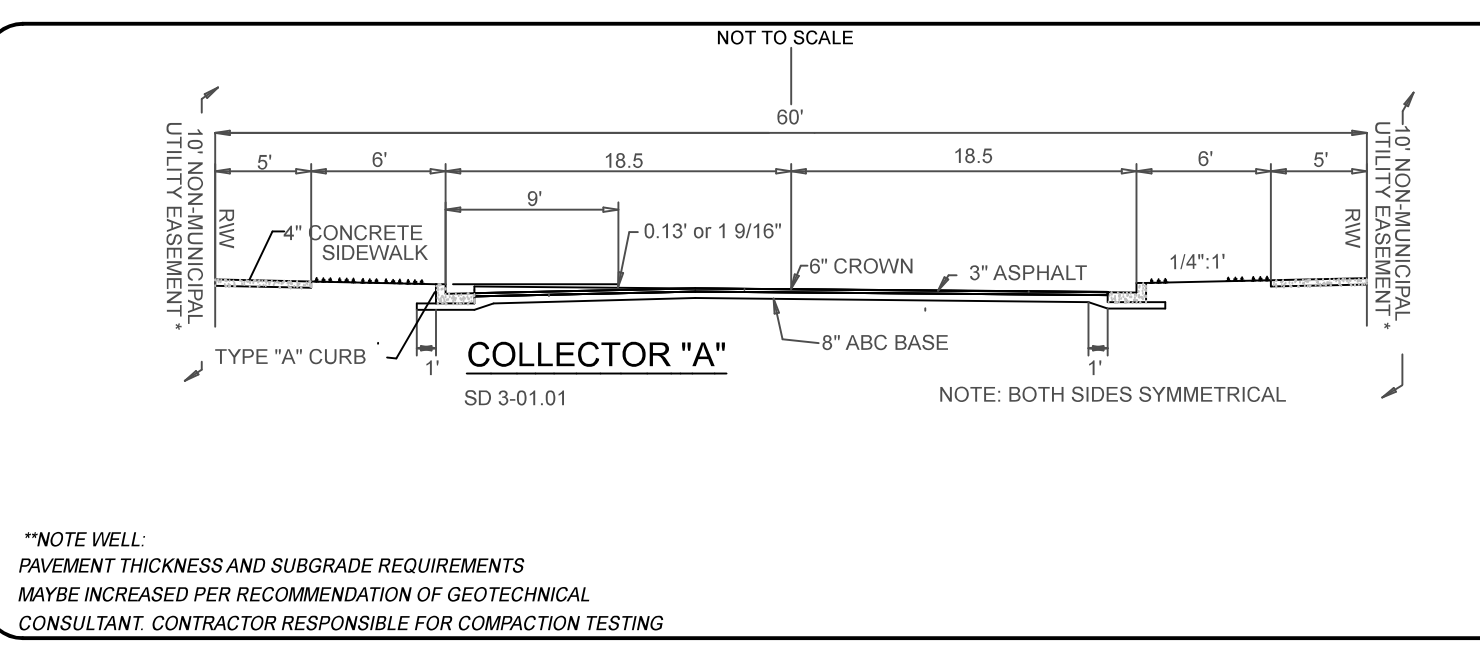
DATE _____

PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PRELIMINARY PLAN NOT FOR CONSTRUCTION



NOTE WELL:
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NOTE WELL:
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NOTE WELL:
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SEE SPECIFICATIONS FOR ADDITIONAL PIPE SIZES, CLASSES AND SCHEDULES (TYPICAL).

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0.28% FOR 10" DIAMETER PIPE
0.22% FOR 12" DIAMETER PIPE

NOTE WELL:
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NOTE WELL:
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STATION 0+00 THROUGH 9+00
CHIPPENHAM DRIVE

REV. NO.	REVISIONS	DATE
5		
4		
3		
2		
1		

PLANS & PROFILES

THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS

LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28408
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-9002
License # C-0587

Date: 4-01-19
Scale: HORIZ.: 1"=50'
VERT.: 1"=5'
Drawn: GW
Checked: AG
Project No: 12498
Sheet No: PP-2
PP-5

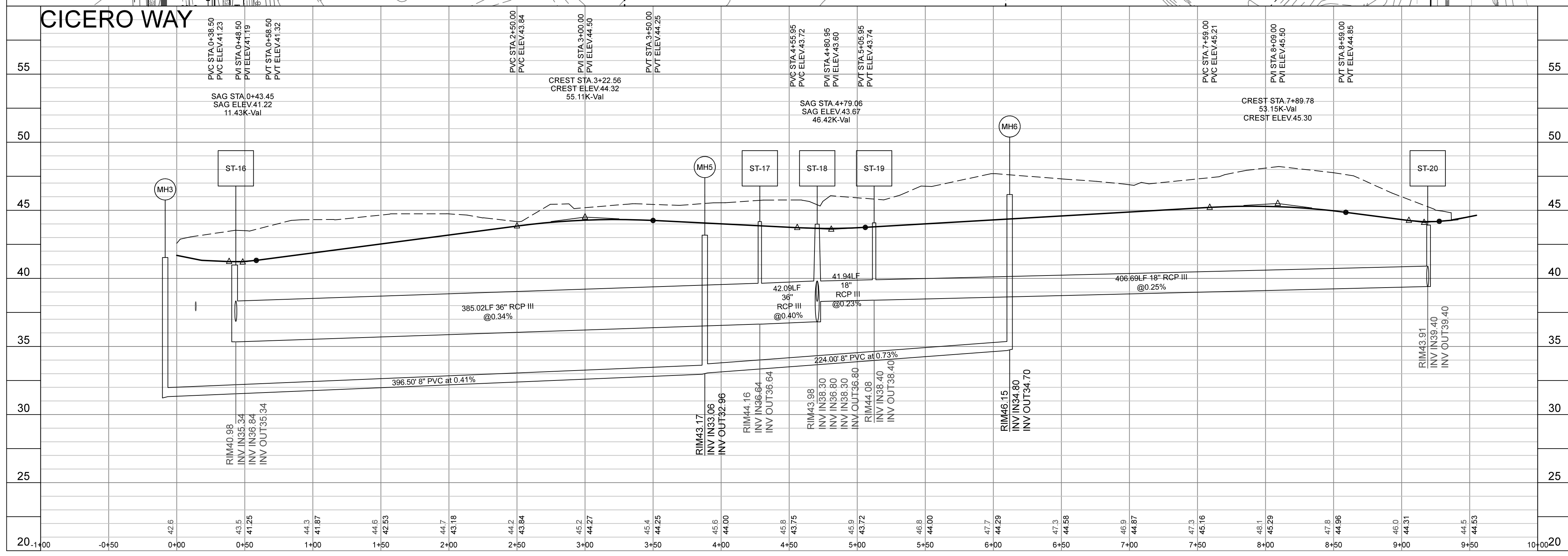
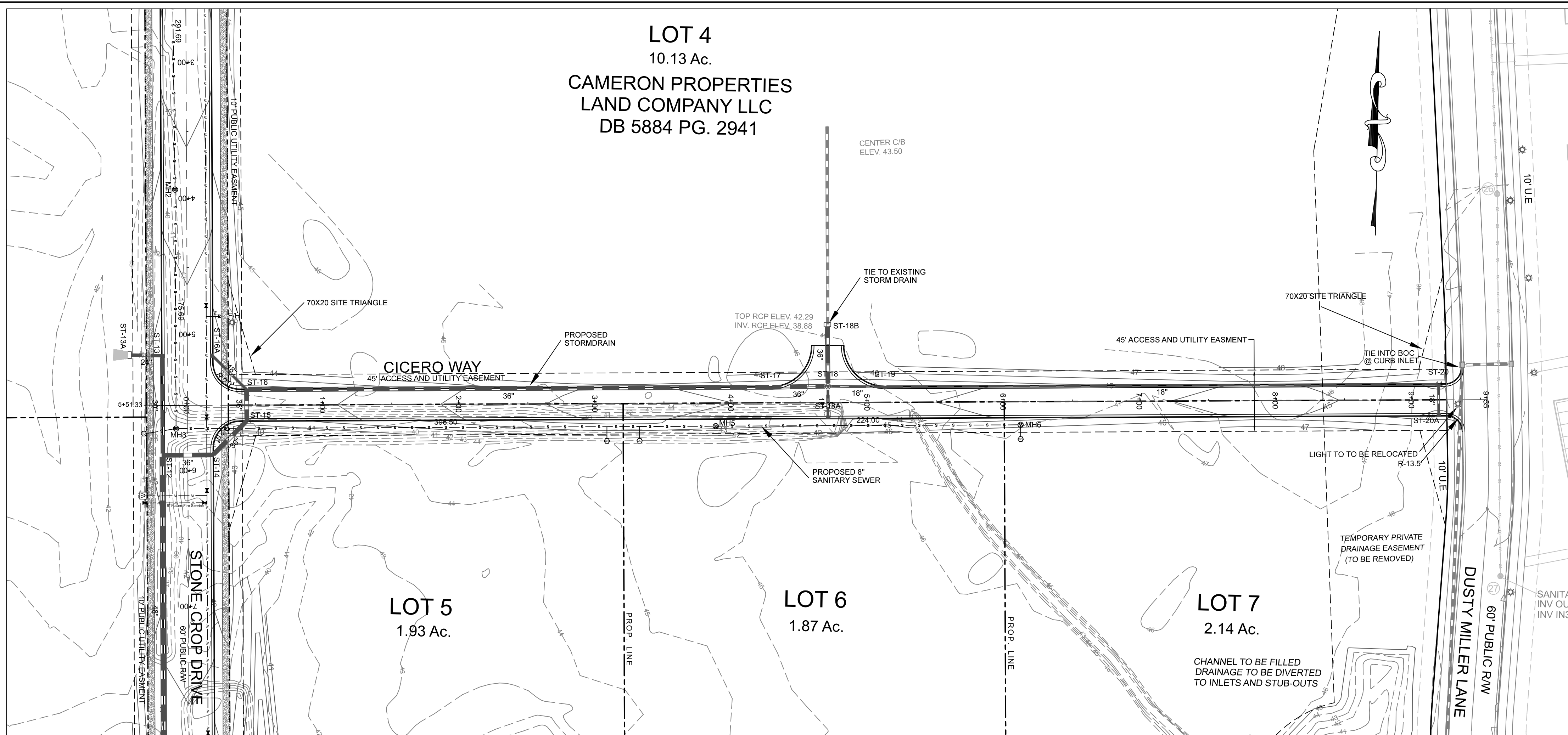
agrad@hdsim.com

LOT 4
10.13 Ac.
CAMERON PROPERTIES
LAND COMPANY LLC
DB 5884 PG. 2941

LOT 5
1.93 Ac.

LOT 6
1.87 Ac.

LOT 7
2.14 Ac.



CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

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ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH COUNTY and CFPUA TECHNICAL STANDARDS.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

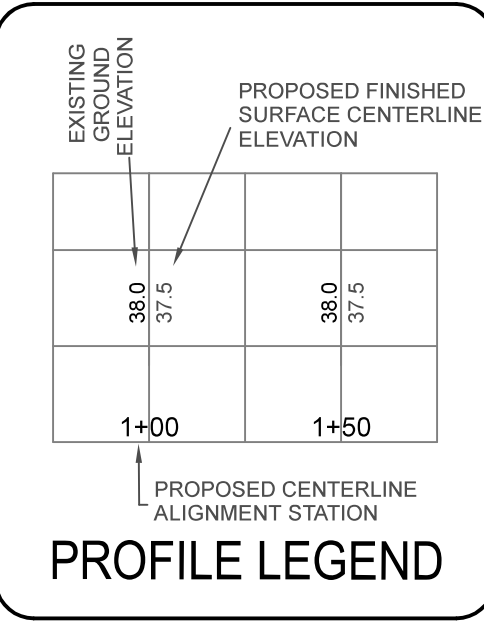
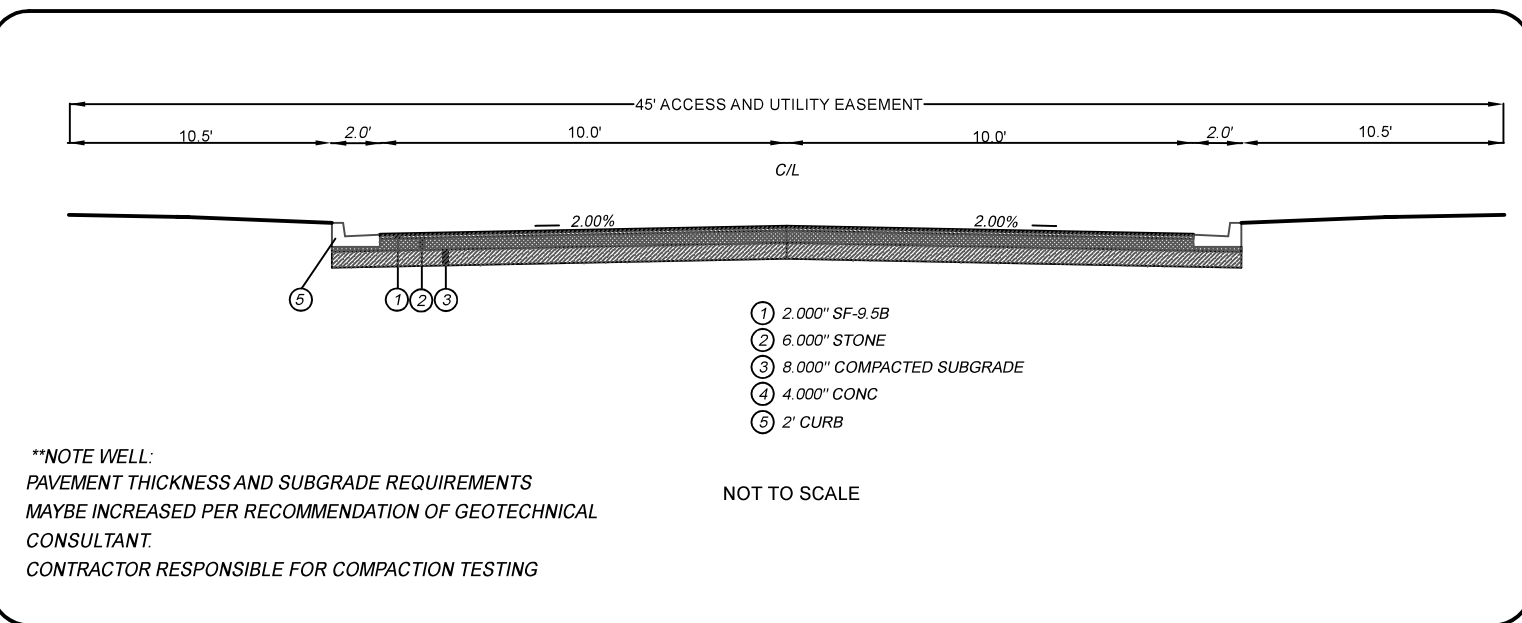
DATE _____

PERMIT # _____

SIGNED _____

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PRELIMINARY PLAN NOT FOR CONSTRUCTION



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STATION 0+00 THROUGH 9+00
CICERO WAY (PRIVATE ACCESS RD)

REV. NO.	REVISIONS	DATE
5		
4		
3		
2		
1		

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PLANS & PROFILES

THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS

LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

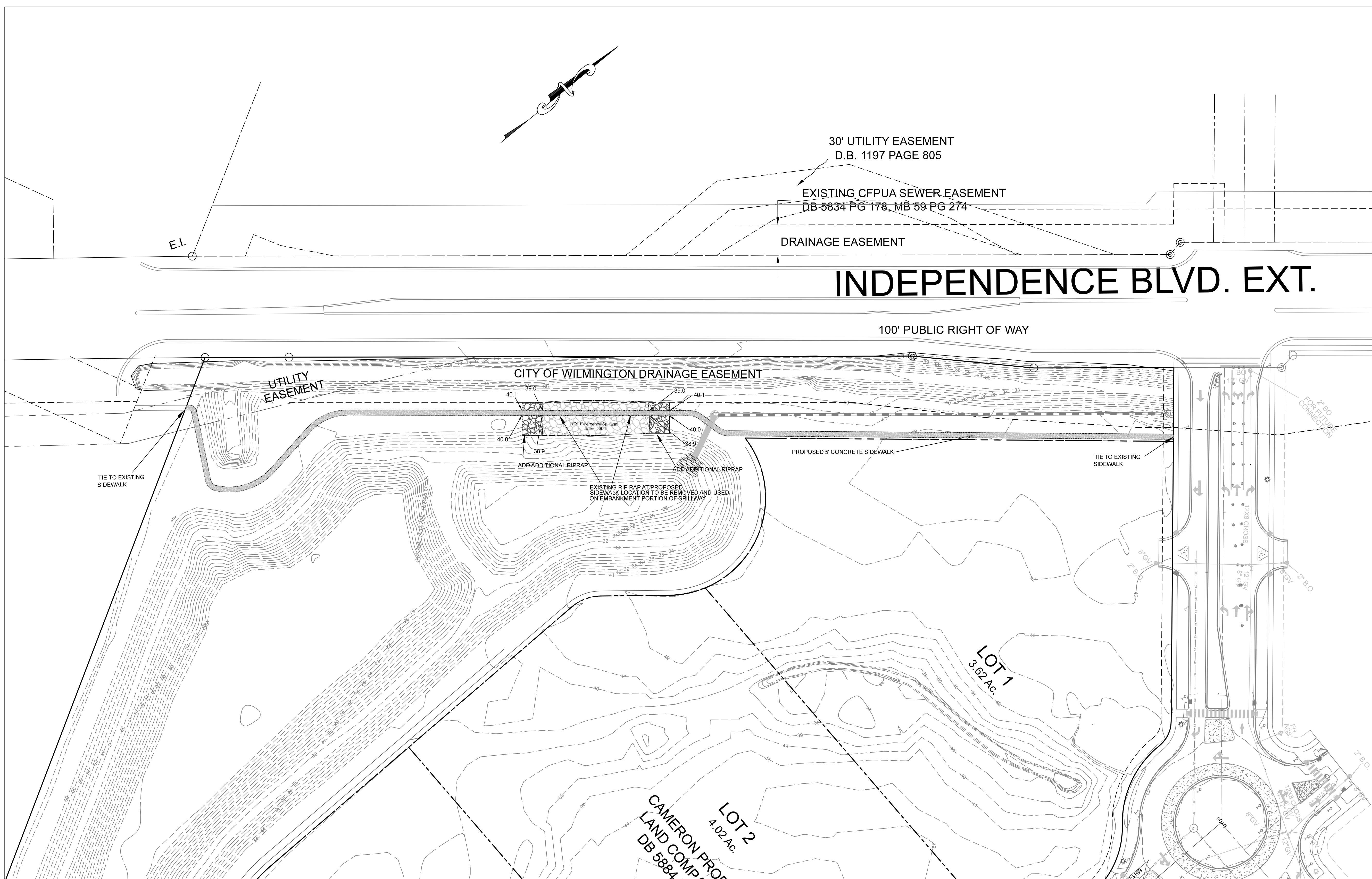
OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS

1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-9002
License # C-0597

Date: 4-01-19
Scale: HORZ.: 1"=50'
VERT.: 1"=5'
Drawn: GW
Checked: AG
Project No: 12498
Sheet No: PP-3
PP-5

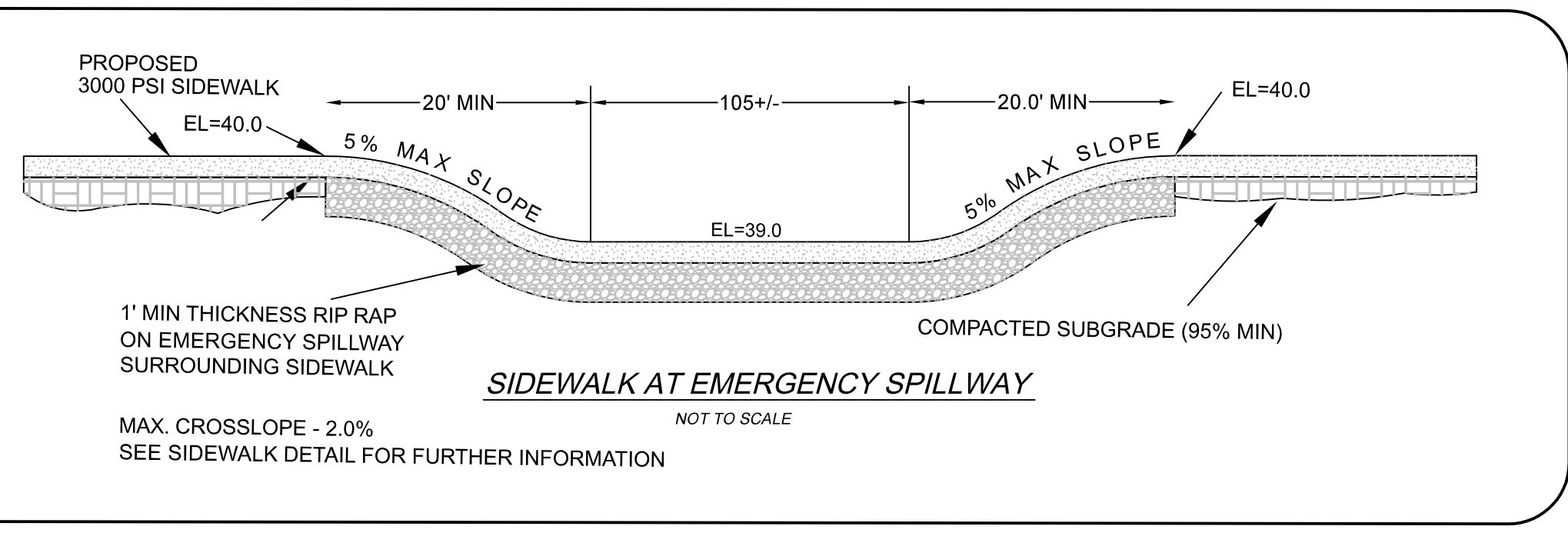
agrad@hdsllm.com



NOTE WELL:
1) CLASS IV RCP SHALL BE USED WHEN COVER IS LESS THAN 2.0' FOR STORM SEWER

NOTE WELL:
1) CONTRACTOR TO ENSURE THAT STREET PAVEMENT & CURBING IS PLACED SO AS TO DRAIN POSITIVELY TO CURB INLETS AND DRAINAGE STRUCTURES.

NOTE WELL:
SEWER PIPE (SIZED 8" THROUGH 12") SHALL BE CLASS 150, SDR18, CONFORMING TO AWWA C900 REQUIREMENTS.
SEE SPECIFICATIONS FOR ADDITIONAL PIPE SIZES, CLASSES AND SCHEDULES. (TYPICAL).



NOTE WELL:
C-900 PVC OR DIP IS TO BE USED FOR ANY SEWERS WITH A DEPTH GREATER THAN 12" (TYPICAL).
INSIDE DROP MANHOLES SHALL BE A MINIMUM OF 5' DIAMETER

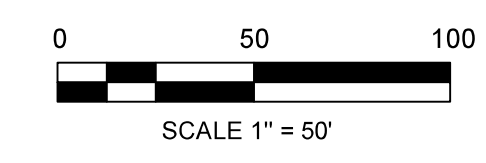
A DROP PIPE SHALL BE PROVIDED FOR SEWER ENTERING A MANHOLE 30" ABOVE MANHOLE INVERT. SEE DETAIL SHEET

NOTE WELL: IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE MINIMUM SEWER SLOPES SPECIFIED BY STATE REGULATIONS ARE ACHIEVED.

THESE MINIMUM SLOPES ARE:
0.60% FOR 6" DIAMETER PIPE
0.40% FOR 8" DIAMETER PIPE
0.28% FOR 10" DIAMETER PIPE
0.22% FOR 12" DIAMETER PIPE

NOTE WELL:
MULTIPLE UTILITIES SHOWN GRAPHICALLY IN PROFILE. DEVIATIONS NOTED AS SHOWN. MAINTAIN 36" COVER AND USE DIP AT CROSSINGS WHEN REQUIRED. SEE COVER SHEET NOTES.

NOTE WELL:
1. All storm water runoff from built upon areas (i.e. impervious surfaces & roof drainage) to be directed to the storm sewer collection system (i.e. storm inlets or ponds) by swales, overland flow, additional grading, or landscaping inlets.



Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____

PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PRELIMINARY PLAN NOT FOR CONSTRUCTION

**ADDITIONAL DRAWING
INDEPENDENCE SIDEWALK**

REV. NO.	REVISIONS	DATE
5		
4		
3		
2		
1		

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egrady@hdsllm.com

PLANS & PROFILES

**THE POINTE AT BARCLAY
STREET AND UTILITY EXTENSIONS**

LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

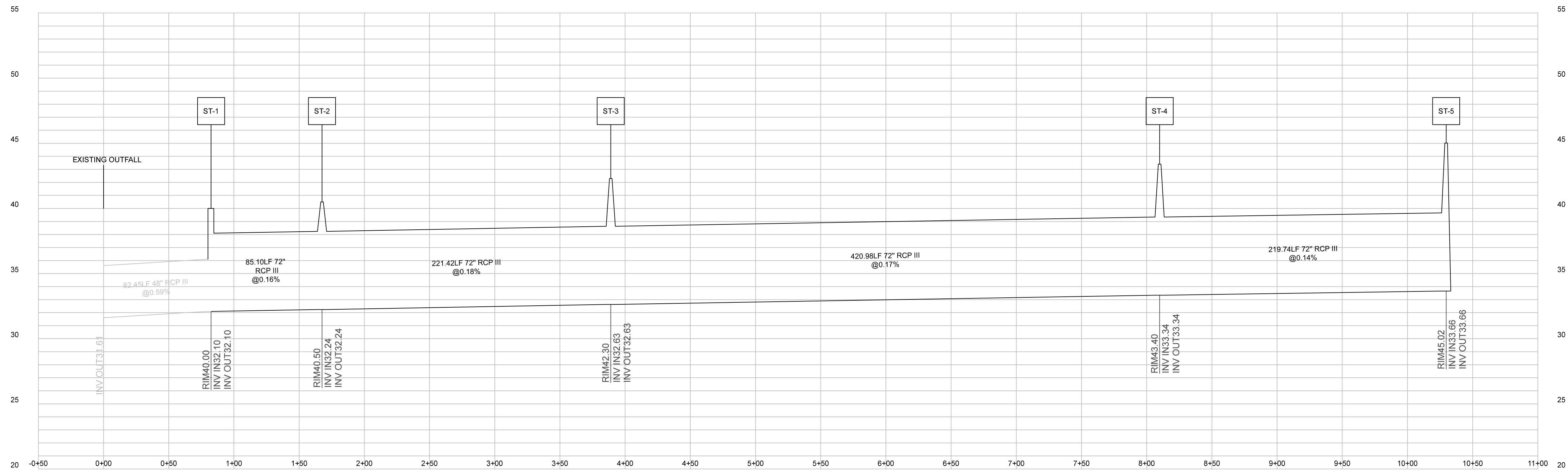
OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3649
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS

1123 FLORIAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
License # C-5297

Date: 7/17/19
Scale: HORZ.: 1"= 50'
VERT.: 1"= 5'
Drawn: GW
Checked: AG
Project No: 12498
Sheet No: PP-4
PP-5

ADDITIONAL STORM PROFILES

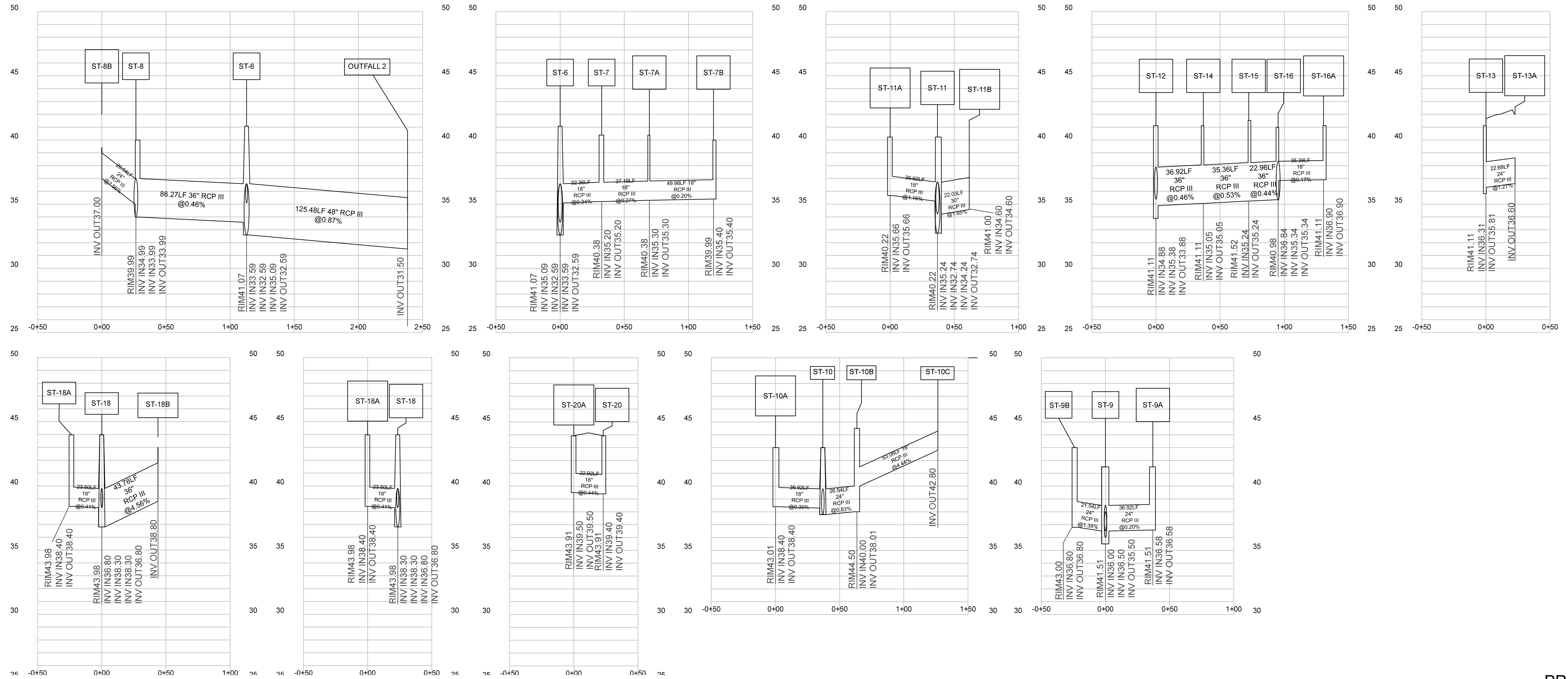


STORM NETWORK SUMMARY

STORM NETWORK SUMMARY						
DN STRUCTURE	UP STRUCTURE	DOWN INVERT (FT)	UP INVERT (FT)	LENGTH (FT)	SLOPE (%)	SIZE (IN)
EXISTING OUTFALL	ST-1	31.61	32.10	82.45	0.59	48.0
ST-1	ST-2	32.10	32.24	85.10	0.16	72.0
ST-2	ST-3	32.24	32.63	221.42	0.18	72.0
ST-3	ST-4	32.63	33.34	420.98	0.17	72.0
ST-4	ST-5	33.34	33.66	219.74	0.14	72.0
ST-5	ST-6	33.66	32.59	125.48	0.87	48.0
OUTFALL 2	ST-11	32.59	32.74	75.96	0.19	48.0
ST-6	ST-8	33.59	33.99	85.88	0.46	36.0
ST-6	ST-7	35.09	35.20	32.29	0.34	18.0
ST-11	ST-12	32.74	33.88	228.13	0.50	48.0
ST-11	ST-11B	34.24	34.60	22.03	1.05	30.0
ST-11	ST-11A	35.24	35.66	36.92	1.16	18.0
ST-12	ST-14	34.88	35.05	36.92	0.46	36.0
ST-12	ST-13	35.38	35.81	72.97	0.59	30.0
ST-14	ST-15	35.05	35.24	35.36	0.53	36.0
ST-15	ST-16	35.24	35.34	22.96	0.44	36.0
ST-16	ST-17	35.34	36.64	385.02	0.34	36.0
ST-16	ST-16A	36.84	36.90	35.39	0.17	18.0
ST-17	ST-18	36.64	36.80	42.09	0.40	36.0
ST-18	ST-19	38.30	38.40	41.91	0.23	18.0
ST-18	ST-18B	36.80	38.80	43.78	4.56	36.0
ST-18	ST-18A	38.30	38.40	23.50	0.41	18.0
ST-19	ST-20	38.40	39.40	406.69	0.25	18.0
ST-20	ST-20A	39.40	39.50	22.92	0.44	18.0
ST-13	ST-13A	38.31	38.60	22.65	1.27	24.0
ST-8	ST-9	33.99	35.50	303.09	0.50	36.0
ST-8	ST-8B	34.99	37.00	26.54	7.56	24.0
ST-9	ST-10	36.00	37.79	319.39	0.56	24.0
ST-9	ST-9B	36.50	36.80	26.54	1.12	24.0
ST-9	ST-9A	36.50	36.58	36.92	0.20	24.0
ST-10	ST-10B	37.79	38.01	26.54	0.83	24.0
ST-10	ST-10A	38.29	38.40	36.92	0.30	18.0
ST-10B	ST-10C	40.00	42.80	63.08	4.44	18.0
ST-7	ST-7A	35.20	35.30	37.00	0.27	18.0
ST-7A	ST-7B	35.30	35.40	49.98	0.20	18.0

SANITARY NETWORK SUMMARY

SANITARY NETWORK SUMMARY						
DN STRUCTURE	UP STRUCTURE	DOWN INVERT (FT)	UP INVERT (FT)	LENGTH (FT)	SLOPE (%)	SIZE (IN)
MH1-EX	MH2	29.20	30.40	291.69	0.41	8.0
MH2	MH3	30.50	31.22	175.69	0.41	8.0
MH3	MH5	31.32	32.96	396.50	0.41	8.0
MH5	MH6	33.06	34.70	224.00	0.73	8.0



PRELIMINARY PLAN NOT FOR CONSTRUCTION

ADDITIONAL STORM PROFILES

ADDITIONAL STORM PROFILES
THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS
 LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

Date: 7/17/19
 Scale: HORZ.: 1"= 50'
 VERT.: 1"= 5'
 Drawn: GW
 Checked: AG
 Project No: 12498

OWNER:
 CAMERON PROPERTIES LAND COMPANY, LLC
 1201 GLEN MEADE ROAD PO BOX 3649
 WILMINGTON, NC 28406
 910-762-2676

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS

Sheet No:
PP-5
PP-5

agrady@hdsim.com

REV NO.	REVISIONS	DATE
5		
4		
3		
2		
1		

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NOTE WELL:
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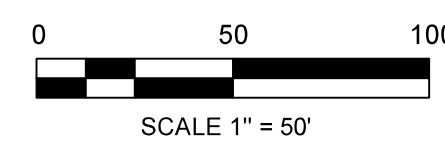
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Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN

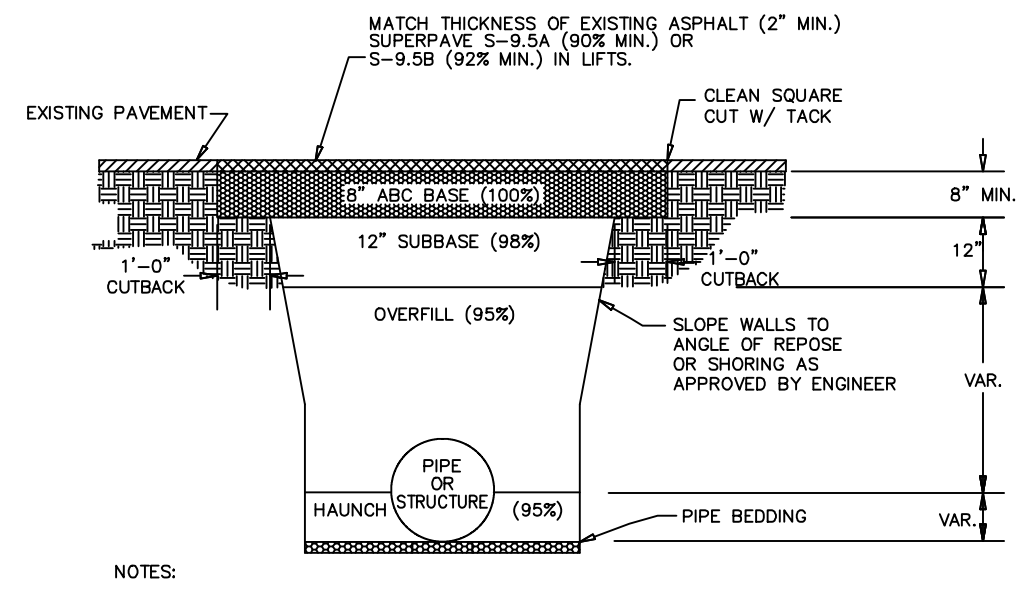
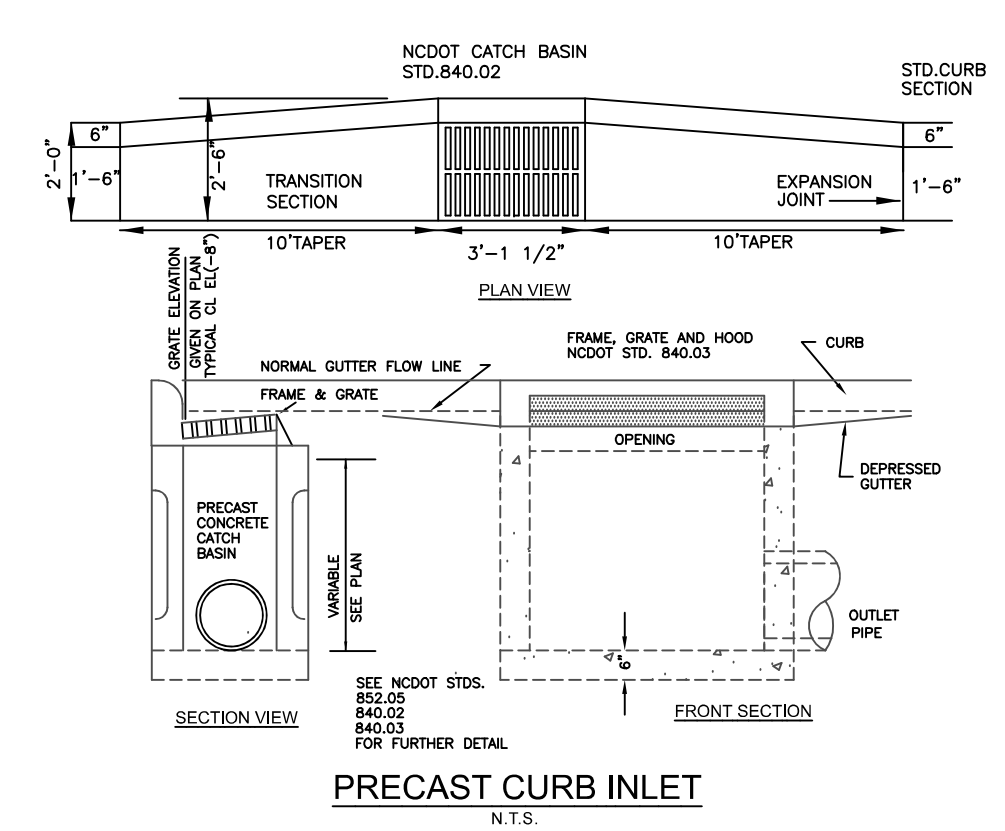
APPROVED

CITY OF WILMINGTON
 ENGINEERING DEPARTMENT

DATE _____
 PERMIT # _____

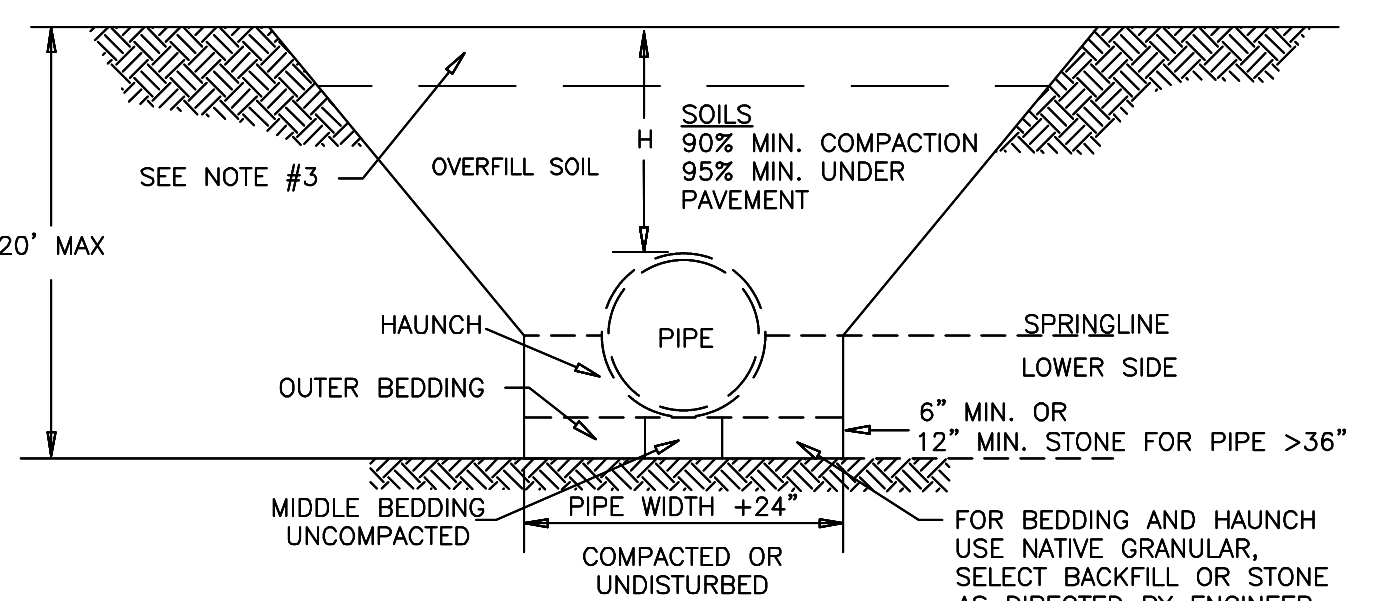
SIGNED _____

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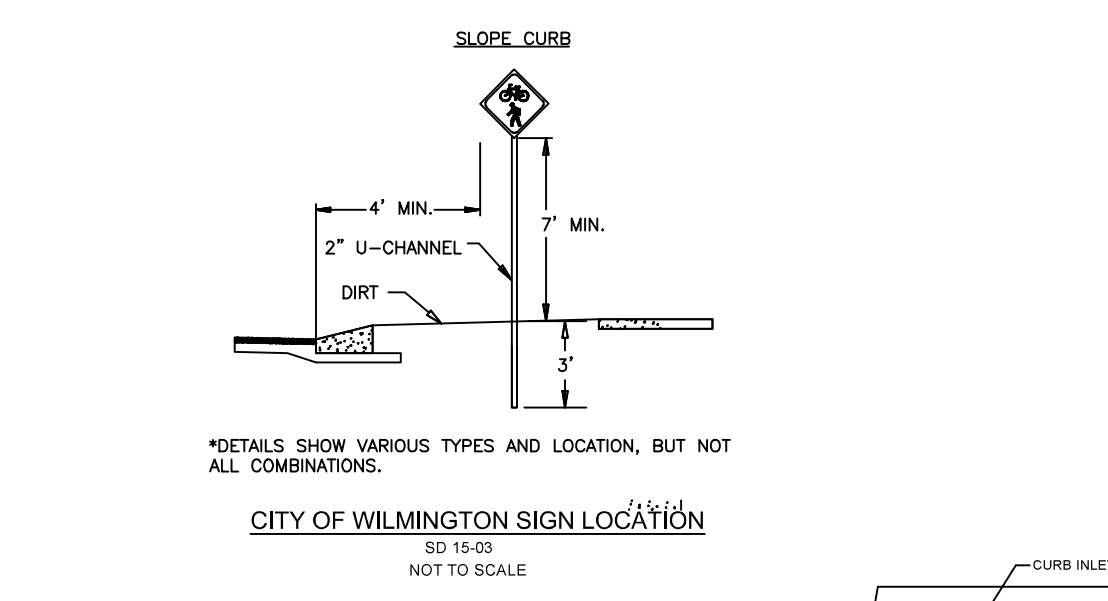
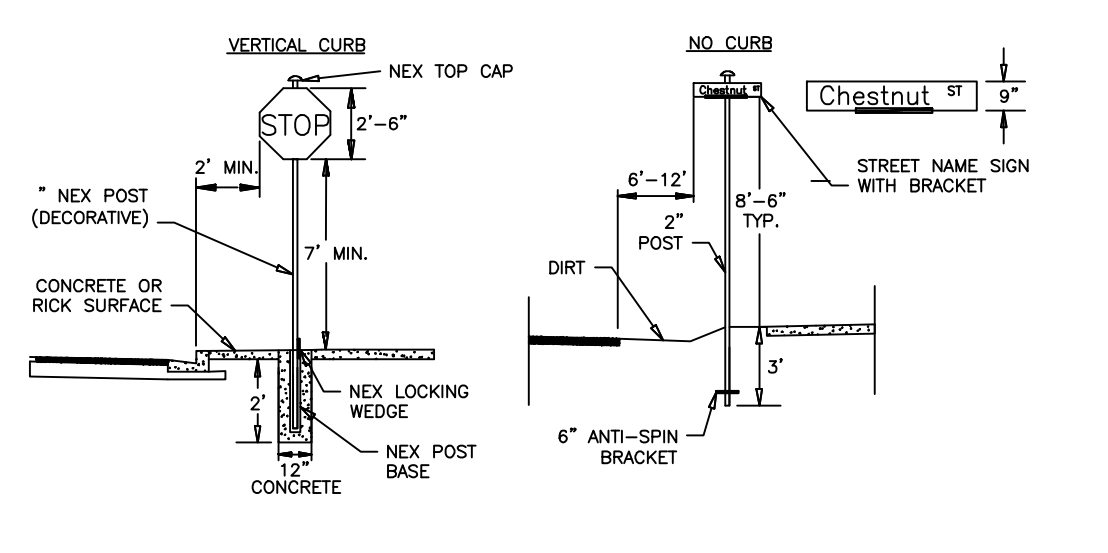
- NOTES:
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57 ABC, CRUSHED LESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 - SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 - ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 - COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS; AND ASTM D-698-C FOR ABC STONE, AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
 - CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

PAVEMENT REPAIRS
SD 1-05
NOT TO SCALE



- NOTES:
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR PIPE INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - CONTRACTOR TO INSTALL BEDDING AND PIPE BEFORE INSTALLING HAUNCH AND THEN OVERFILL. SOILS SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED TO MIN. % DENSITY AS DETERMINED BY THE STANDARD PROCTOR ASTM D-698-A METHOD.
 - WHERE IN PAVEMENT, CONTRACTOR SHALL ADHERE TO CITY STREET CUT POLICY AND SD 1-04 OR SD 1-05 FOR ROAD AND PAVEMENT REBUILD.
 - SOIL SHALL BE COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 - THIS DETAIL IS REPRESENTATIVE AND PIPE TRENCH DESIGN IS SUBJECT TO SPECIFIC SOIL CATEGORY (I, II, III), AND INSTALLATION TYPE (1, 2, 3, 4), AS DIRECTED BY THE ENGINEER AND SITE CONDITIONS.

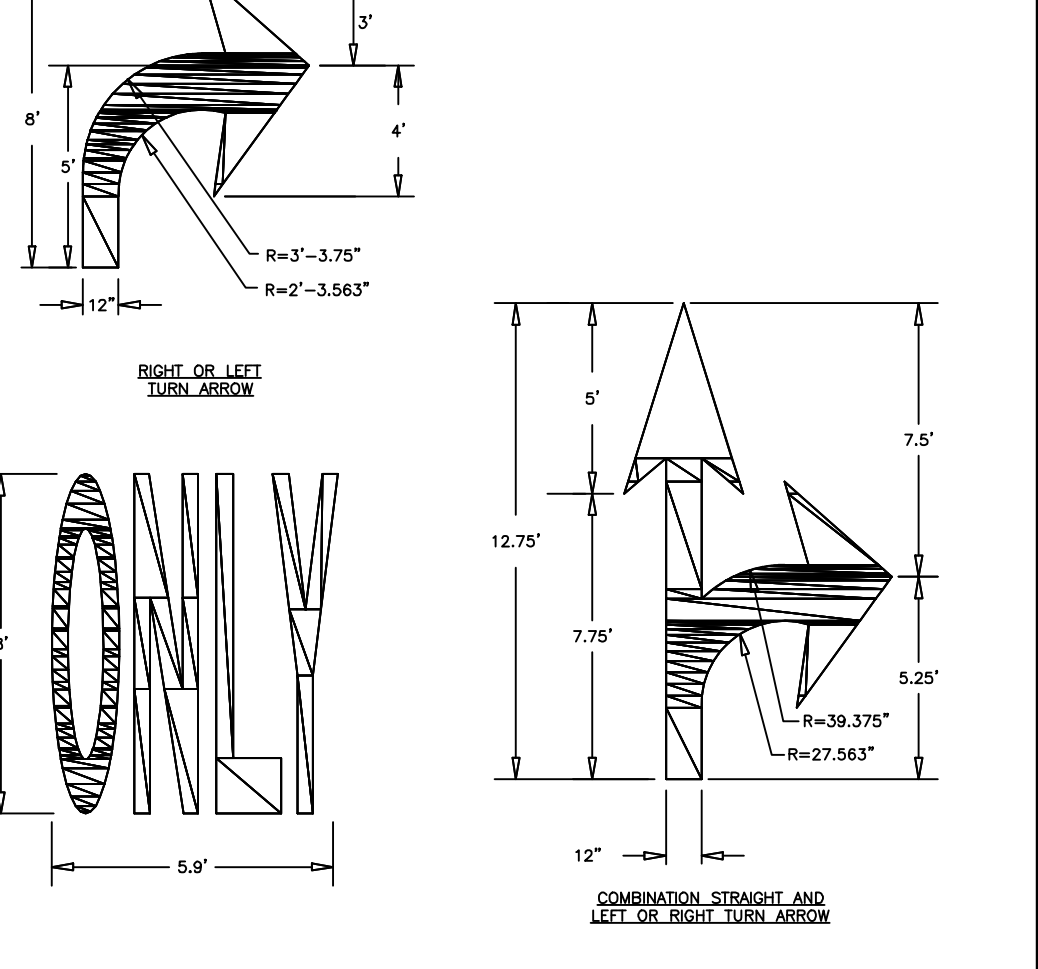
PIPE TRENCH DETAIL
SD 1-07
NOT TO SCALE



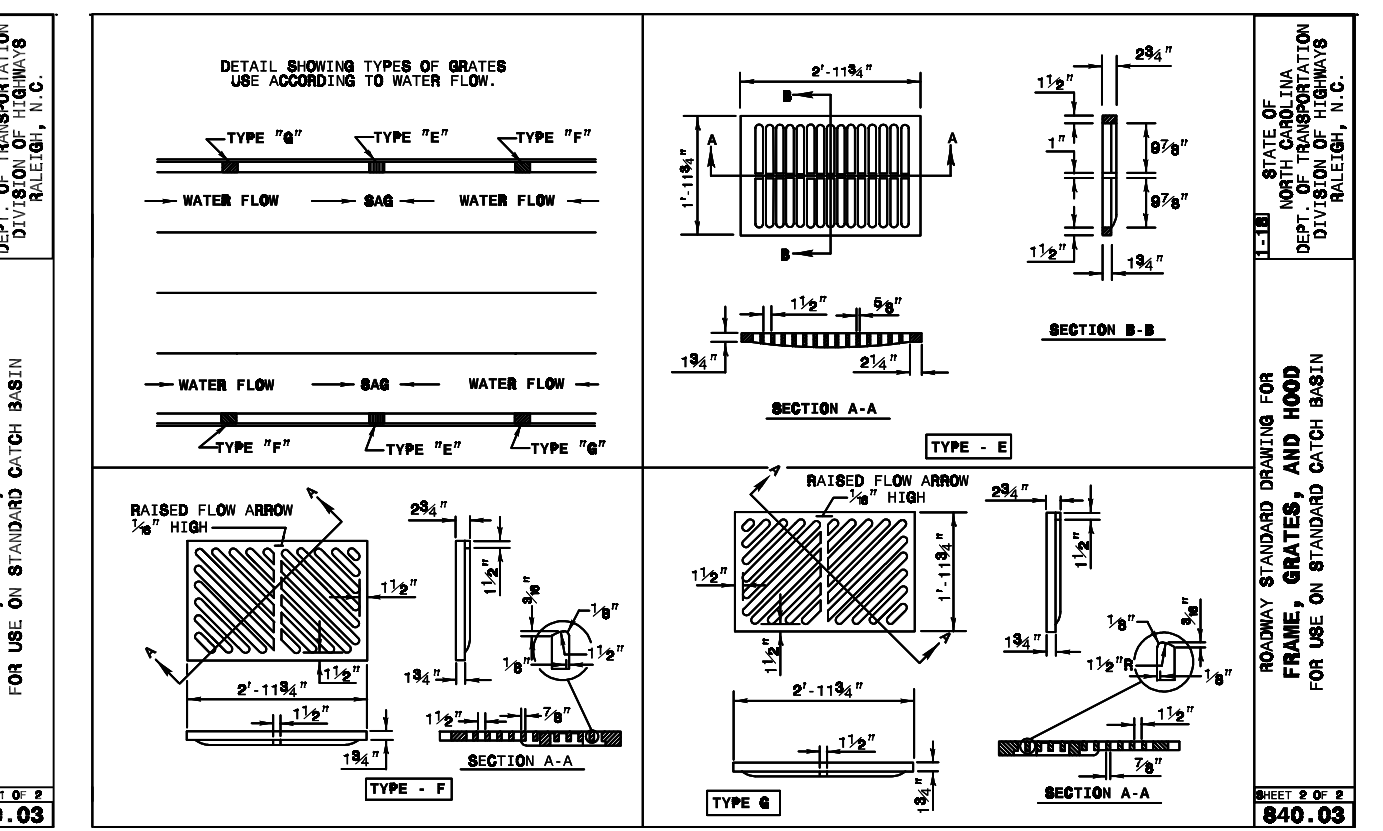
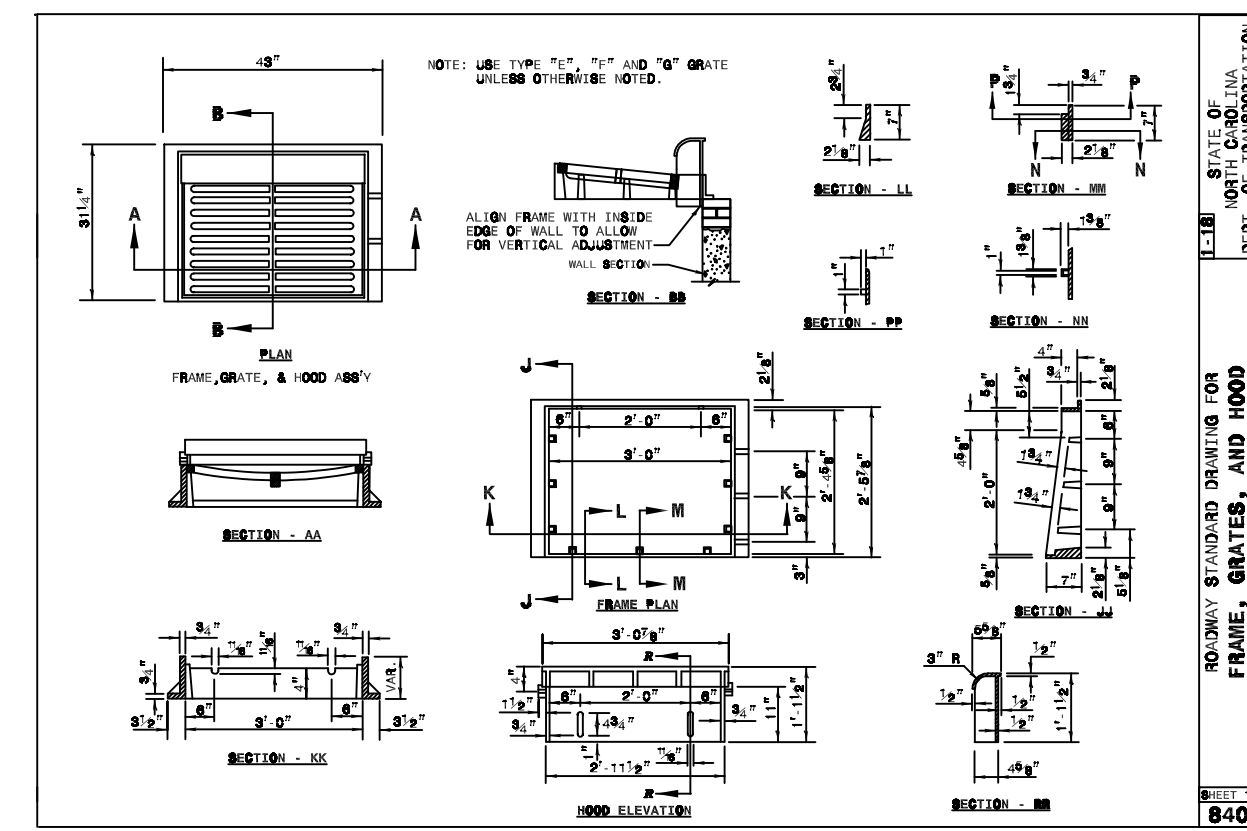
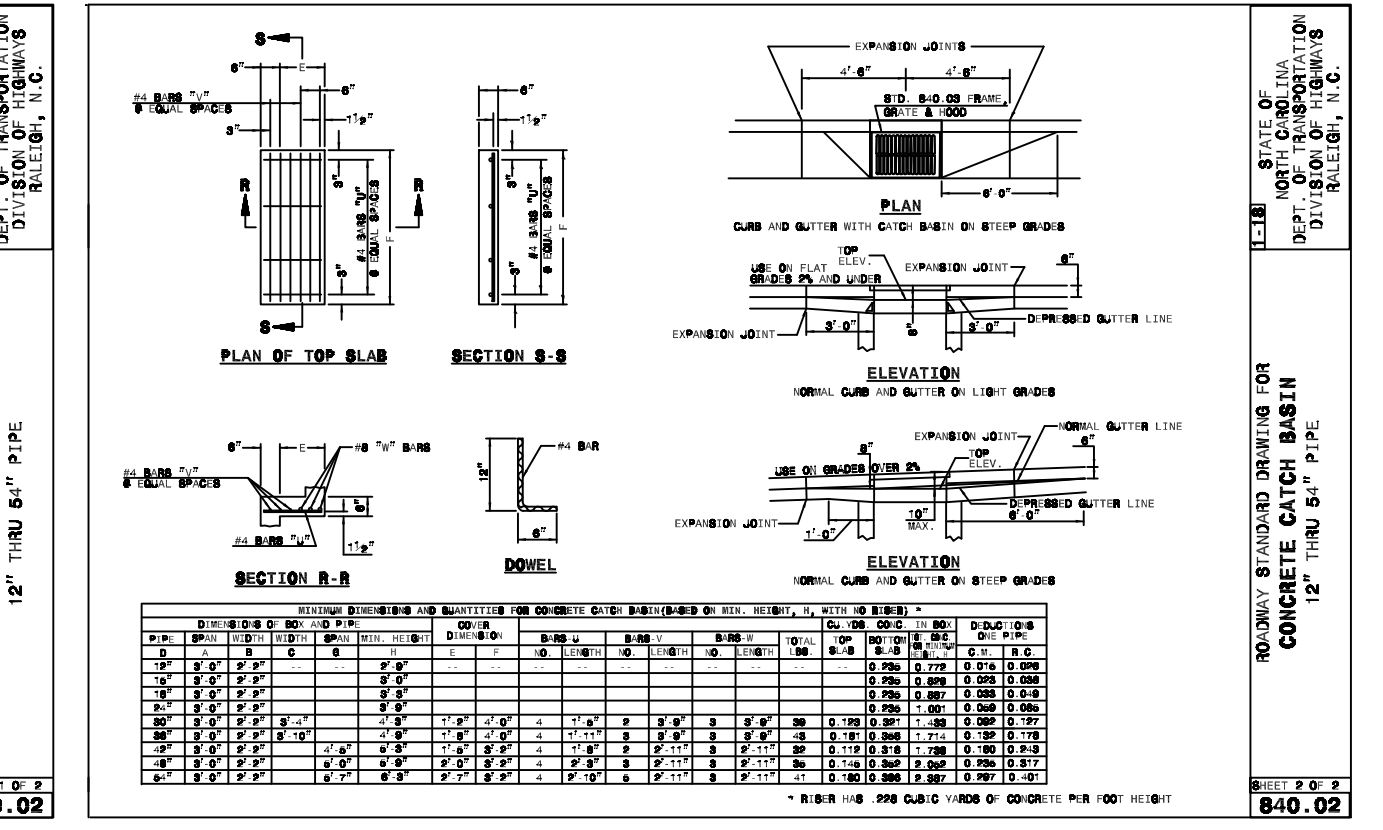
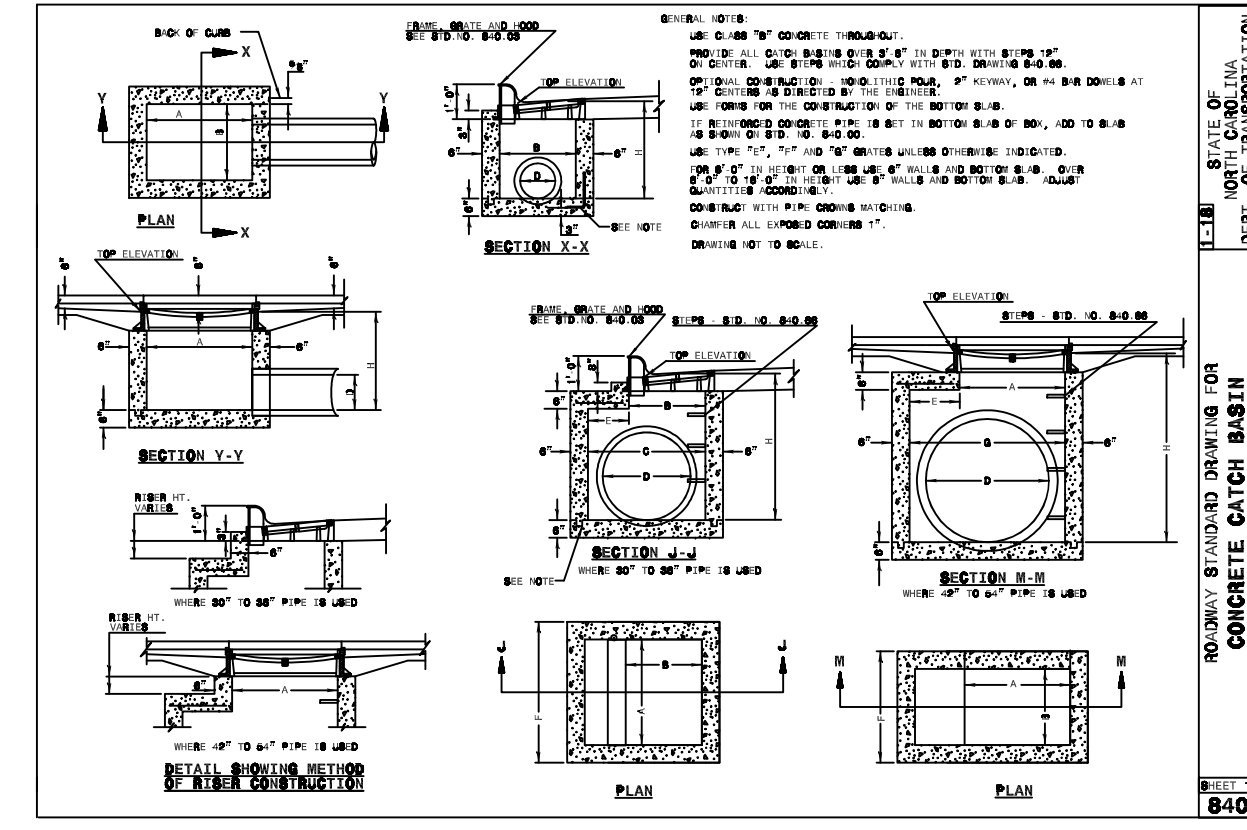
CITY OF WILMINGTON SIGN LOCATION
SD 15-03
NOT TO SCALE

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

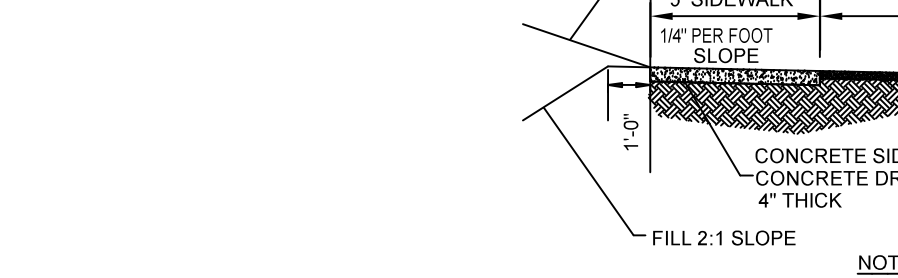
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



GENERAL NOTES
SD 11-03
NOT TO SCALE

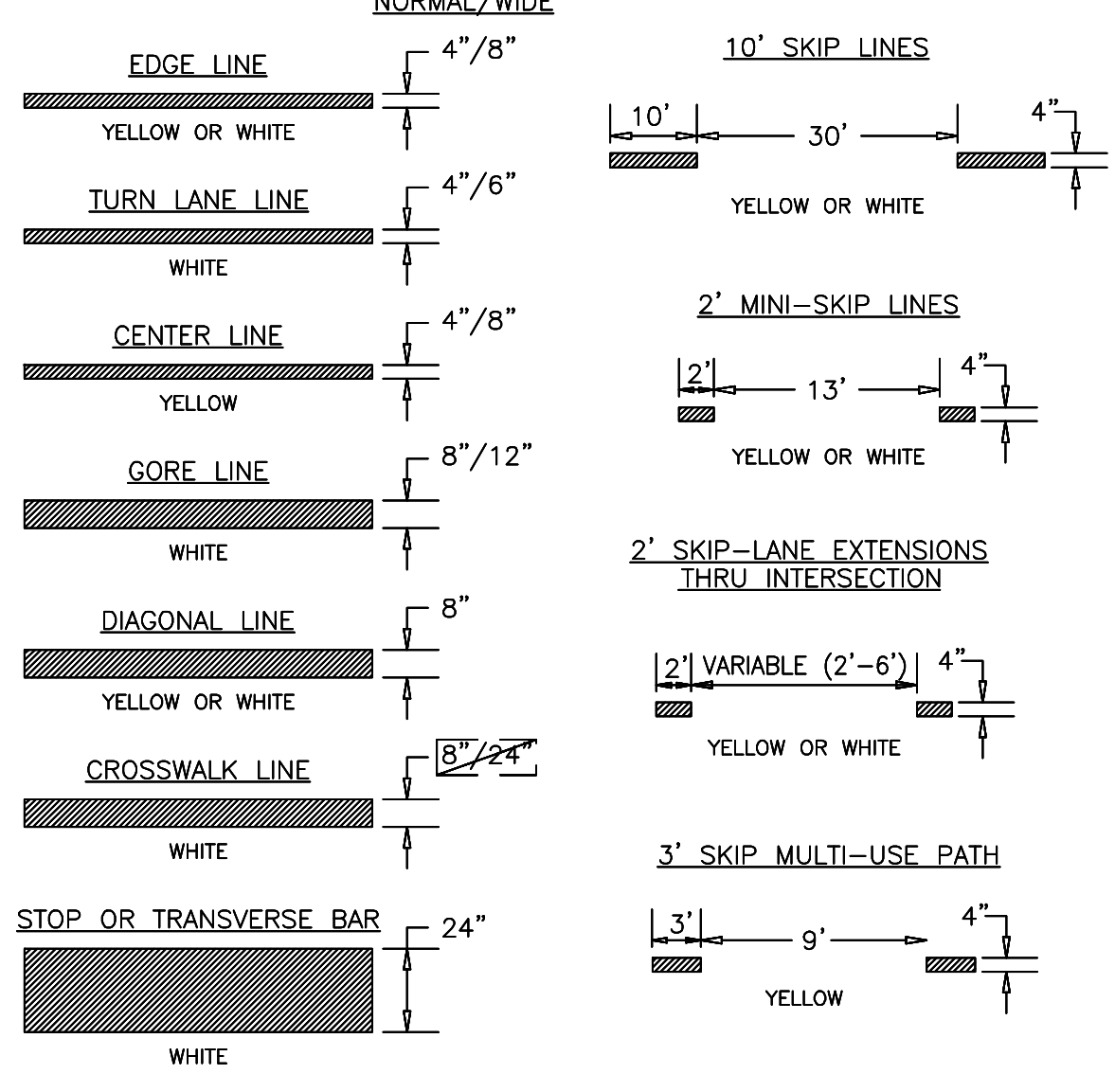


PIPE TRENCH DETAIL
SD 1-07
NOT TO SCALE



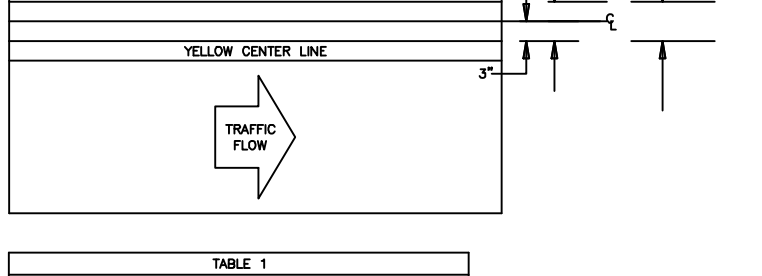
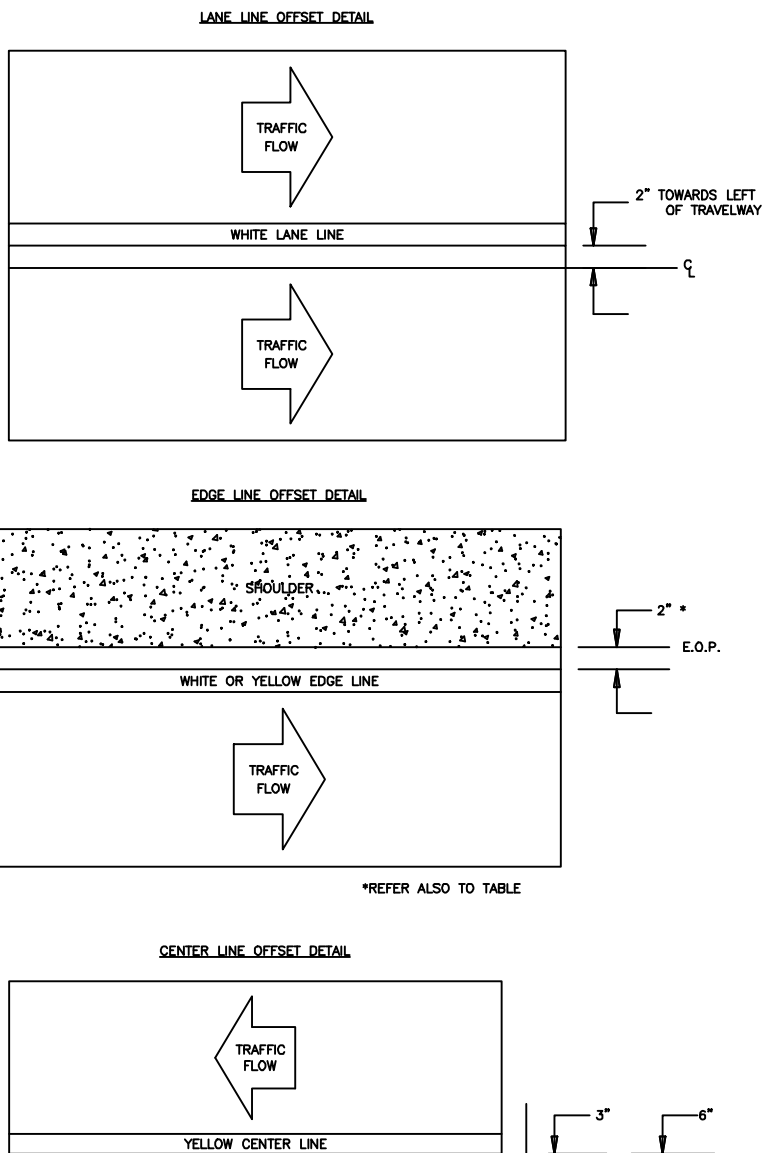
- NOTES:
- *COMBINED CONCRETE CURB & GUTTER, CONCRETE SIDEWALK AND DRIVEWAYS TO BE 3000 POUNDS STRENGTH CONCRETE.
 - *SCORE JOINTS TO BE PLACED EVERY 5' ACROSS SIDEWALK, IN SIDEWALK AREA OF DRIVEWAYS.
 - *EXPANSION JOINTS TO BE PLACED ACROSS SIDEWALK EVERY 30'
 - *EXPANSION JOINTS TO BE PLACED BETWEEN SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

CONCRETE CURB & GUTTER
SD 13-02
NOT TO SCALE

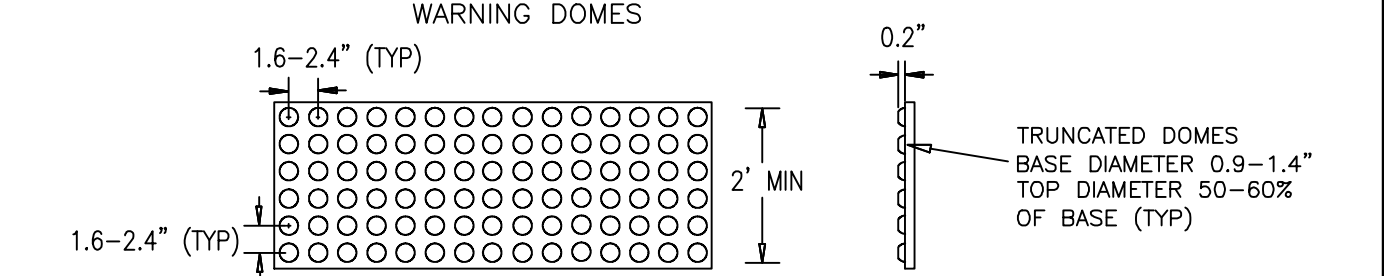
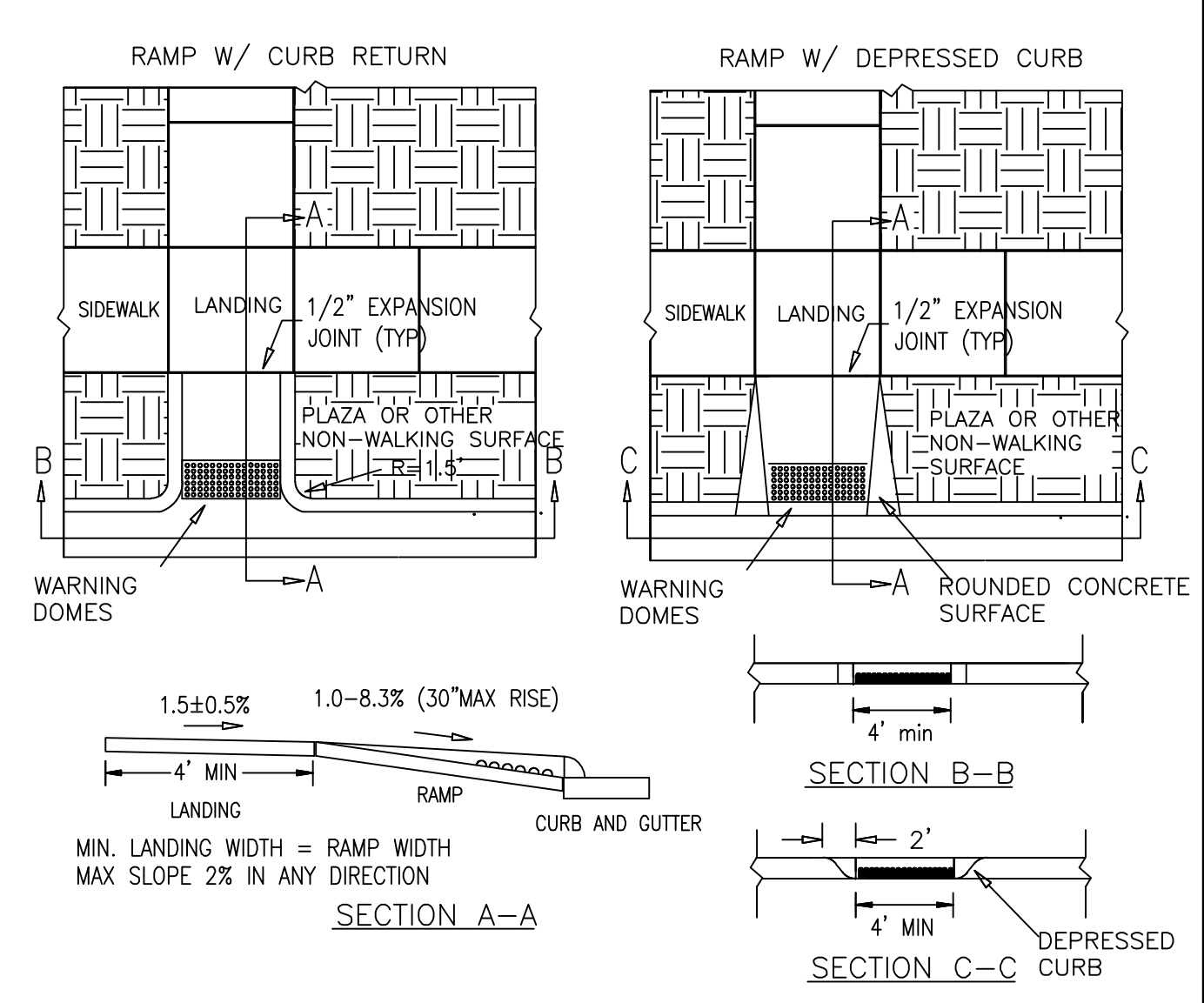


- 1-PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 12 SPECIFICATIONS.
- 2-GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120MIL OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS; TEMPORARY MARKINGS SHALL CONSISTS OF 15 MIL PAINT, EVERY 6 MONTHS.
- 3-DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50' F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40' F AND RISING.

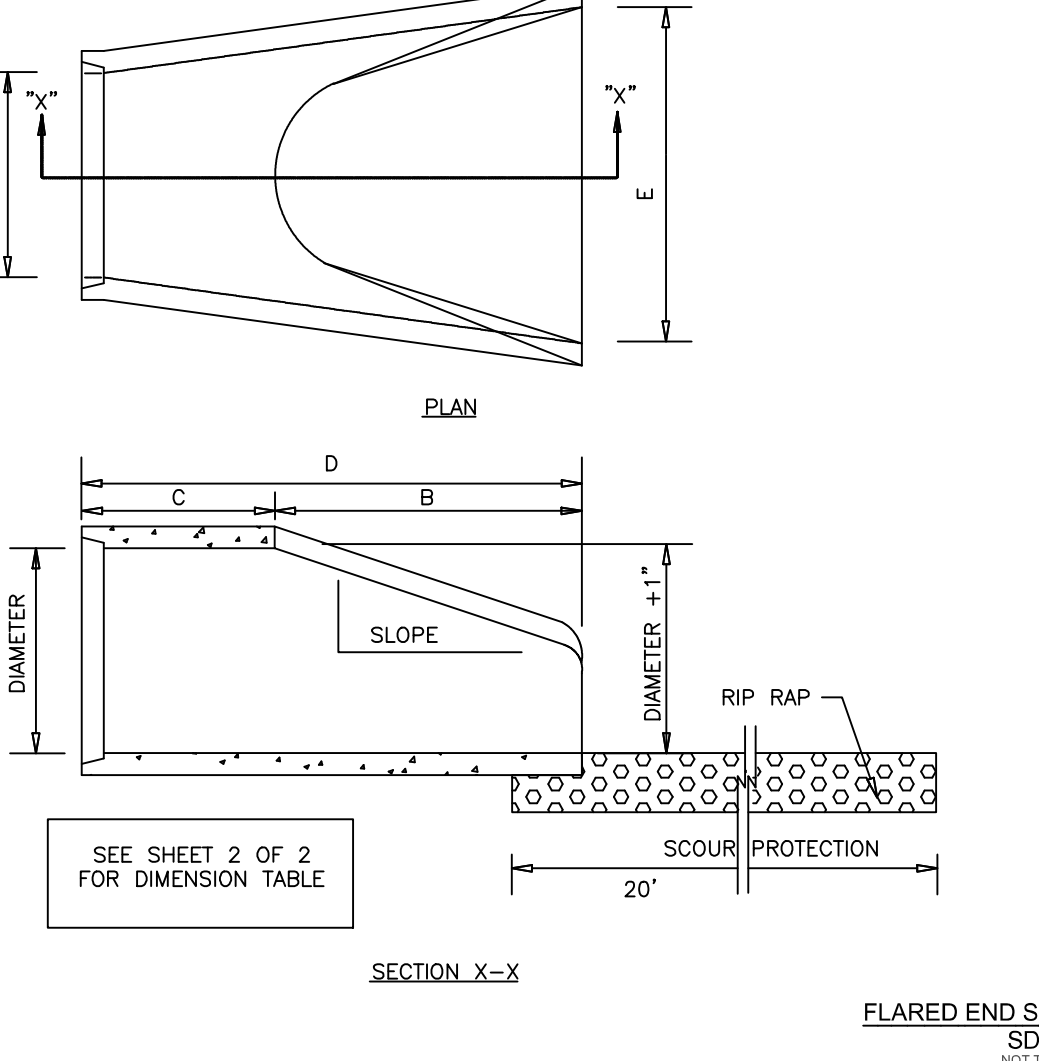
PAVEMENT MARKING TYPES
SD 11-01
NOT TO SCALE



PAVEMENT MARKING OFFSETS
SD 11-02
NOT TO SCALE



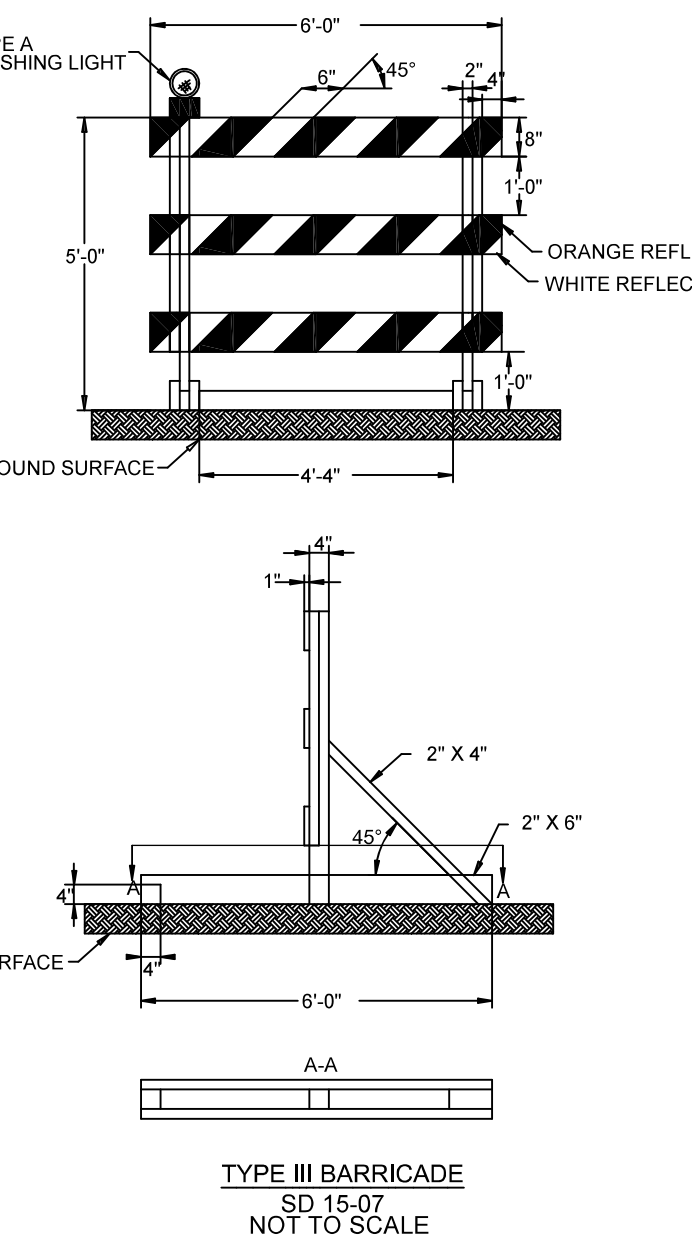
PERPENDICULAR CURB RAMP
SD 03-08
NOT TO SCALE



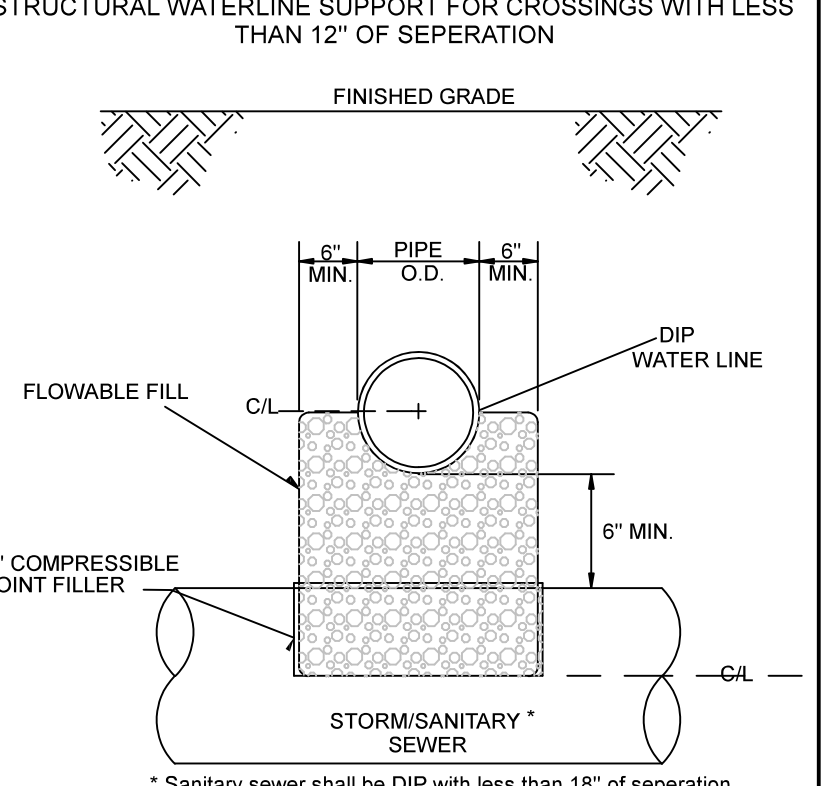
NOTE:
1. STRUCTURAL DESIGN OF END SECTION SHALL CONFORM WITH THAT OF STANDARD REINFORCED CONCRETE.

PIPE DIAMETER	WALL THICKNESS	SLOPE	B	C	D	E	UNIT WEIGHT
12	2 1/4	3:1	24	49	73	24	730
15	2 1/4	3:1	27	46	73	30	910
18	2 1/2	3:1	27	46	73	36	1190
21	2 3/4	3:1	36	37	73	42	1370
24	3	3:1	42	31 1/2	73 1/2	48	1770
27	3 1/4	3:1	48	25 1/2	73 1/2	54	2130
30	3 1/2	3:1	54	19 3/4	73 3/4	60	2380
33	3 3/4	3:1	60	36	96	66	3870
36	4	3:1	63	34 3/4	97 3/4	72	5320
42	4 1/2	3:1	63	35	98	78	5920
48	5	3:1	72	26	98	84	7470
54	5 1/2	2.4:1	66	34	100	90	8810
60	6	2:1	60	39	99	96	11180
72	7	2:1	78	21	99	108	13980

DIMENSIONS IN INCHES WEIGHTS IN POUNDS



TYPE III BARRICADE
SD 15-07
NOT TO SCALE



STRUCTURAL WATERLINE SUPPORT FOR CROSSINGS WITH LESS THAN 12" OF SEPERATION
* Sanitary sewer shall be DIP with less than 18" of separation

REV. NO.	REVISIONS	DATE

PLANS & PROFILES
THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS
LOCATED IN THE CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER:
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1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002

Date: 7-31-18
Scale: N/A
Drawn: GW
Checked: AHG
Project No:
Sheet No: D-1
Of: D-1

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____

TREE TABLE							
No.	DESCRIPTION	No.	DESCRIPTION	No.	DESCRIPTION	No.	DESCRIPTION
3	12" pine	23	15.5" pine	46	14.5" pine	67	13" pine
4	12" pine	24	16.5" pine	47	13" pine	68	12.5" pine
5	13.5" pine	25	15" pine	48	13.5" pine	69	13" pine
6	13.5" pine	26	13" pine	49	9.5" hardwood	70	12" pine
7	13.5" pine	27	15.5" pine	50	17" pine	71	12" pine
8	14" pine	28	15" pine	51	14" pine	72	12" pine
9	12" pine	29	12.5" pine	52	12.5" pine	73	13.5" pine
10	12" pine	30	14" pine	53	13.5" pine	74	13" pine
11	13.5" pine	31	21" pine	54	13" pine	75	12" pine
12	12.5" pine	32	15" pine	55	twin 9" hardwood	76	14" pine
13	12" pine	33	14.5" pine	56	15.5" pine	77	12.5" pine
14	13" pine	34	14.5" pine	57	12" pine	78	14" pine
15	15.5" pine	35	14.5" pine	58	14.5" pine	79	12.5" pine
16	12.5" pine	36	13.5" pine	59	12" pine	80	12" pine
17	17" pine	37	13" pine	60	13.5" pine	81	13" pine
18	12" pine	38	13" pine	61	14.5" pine	82	15.5" pine
19	15" pine	39	13" pine	62	12.5" pine	83	twin 11" 14" pine
20	13" pine	40	17.5" pine	63	13.5" pine	84	15" pine
21	14.5" pine	41	12" pine	64	15" pine	85	12.5" pine
22	12" pine	42	12.5" pine	65	15" pine	86	12.5" pine
		43	12.5" pine	66	15.5" pine	87	14.5" pine
		44	12.5" pine			108	12" pine
						109	12" pine
						110	12" pine
						111	12" pine
						112	12" pine
						113	12.5" pine
						114	12.5" pine
						115	6.5" mag
						116	15" pine
						117	3.5" holly
						118	16" pine
						119	12" pine
						120	13" pine
						121	12.5" pine
						122	13" pine
						123	19.5" pine
						124	13.5" pine
						125	15" pine
						126	13" pine
						127	15" pine
						128	13" pine
						129	14.5" pine
						130	13" pine
						131	14.5" pine
						132	14" pine
						133	13" pine
						134	15" pine
						135	14.5" pine
						136	14.5" pine
						137	11.5" hardwood
						138	14.5" pine
						139	12" pine
						140	12" pine
						141	14" pine
						142	13.5" pine
						143	14" pine
						144	14" pine
						145	12.5" pine
						146	12" pine
						147	12" pine
						148	12" pine
						149	13" pine
						150	13" pine
						151	14" pine
						152	14.5" pine
						153	12" pine
						154	13.5" pine
						155	15.5" pine
						156	13.5" pine
						157	14" pine
						158	13.5" pine
						159	twin 8.5" hardwood

TOTAL REGULATED TREES IN PROJECT AREA: 148
 TREES TO BE REMOVED: 45
 NO SIGNIFICANT TREES ARE LOCATED IN THE PROJECT AREA

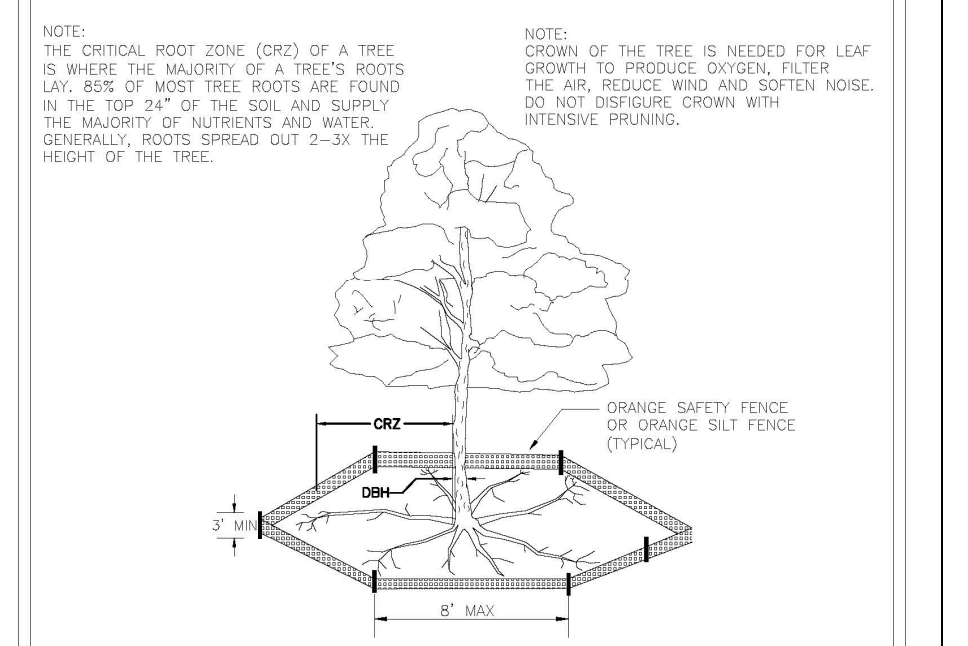
CAMERON PROPERTIES
 LAND COMPANY LLC
 DB 5884 PG. 2941

REGULATED TREES TO BE REMOVED

PINES -43
 TWIN 13" HARDWOOD - 1
 3.5" HOLLY - 1
 TOTAL - 45

- X REGULATED TREE TO BE REMOVED**
- LOD — LOD — LIMITS OF DISTURBANCE
 - TPF — TPF — TREE PROTECTION FENCING
 - FLOOD — FLOOD — PREVIOUSLY PERMITTED LIMITS OF DISTURBANCE
 - SF — SF — PROPOSED SITE FENCE

- NOTES:**
- NO SIGNIFICANT TREES ARE LOCATED WITHIN PROJECT AREA.
 - ALL REGULATED TREES LOCATED ON SITE ARE SHOWN.
 - REGULATED TREES TO BE REMOVED ARE NECESSARY FOR SITE IMPROVEMENTS AND GRADING AS SHOWN.
 - TREE REMOVAL PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.
 - TREE PROTECTION FENCING TO BE INSTALLED AS SHOWN PRIOR TO CONSTRUCTION.



STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
 SHEET 1 of 2

DATE: JAN 2011
 DRAWN BY: JBR
 CHECKED BY: RHP/PE
 SCALE: NOT TO SCALE

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 801 BOB WHITE BLVD
 WILMINGTON, NC 28402
 (910) 341-7607
 SD 15-499

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
 SHEET 2 of 2

DATE: JAN 2011
 DRAWN BY: JBR
 CHECKED BY: RHP/PE
 SCALE: NOT TO SCALE

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 801 BOB WHITE BLVD
 WILMINGTON, NC 28402
 (910) 341-7607
 SD 15-499



TREE REMOVAL PLAN
THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS
 LOCATED IN THE CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA

Date: 4-26-19
 Scale: 1"=50'
 Drawn: GW
 Checked: AG
 Project No: 12498

OWNER:
 CAMERON PROPERTIES LAND COMPANY, LLC
 1201 GLEN MEADE ROAD PO BOX 3649
 WILMINGTON, NC 28406
 910-762-2676

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8022
 License # C-5597

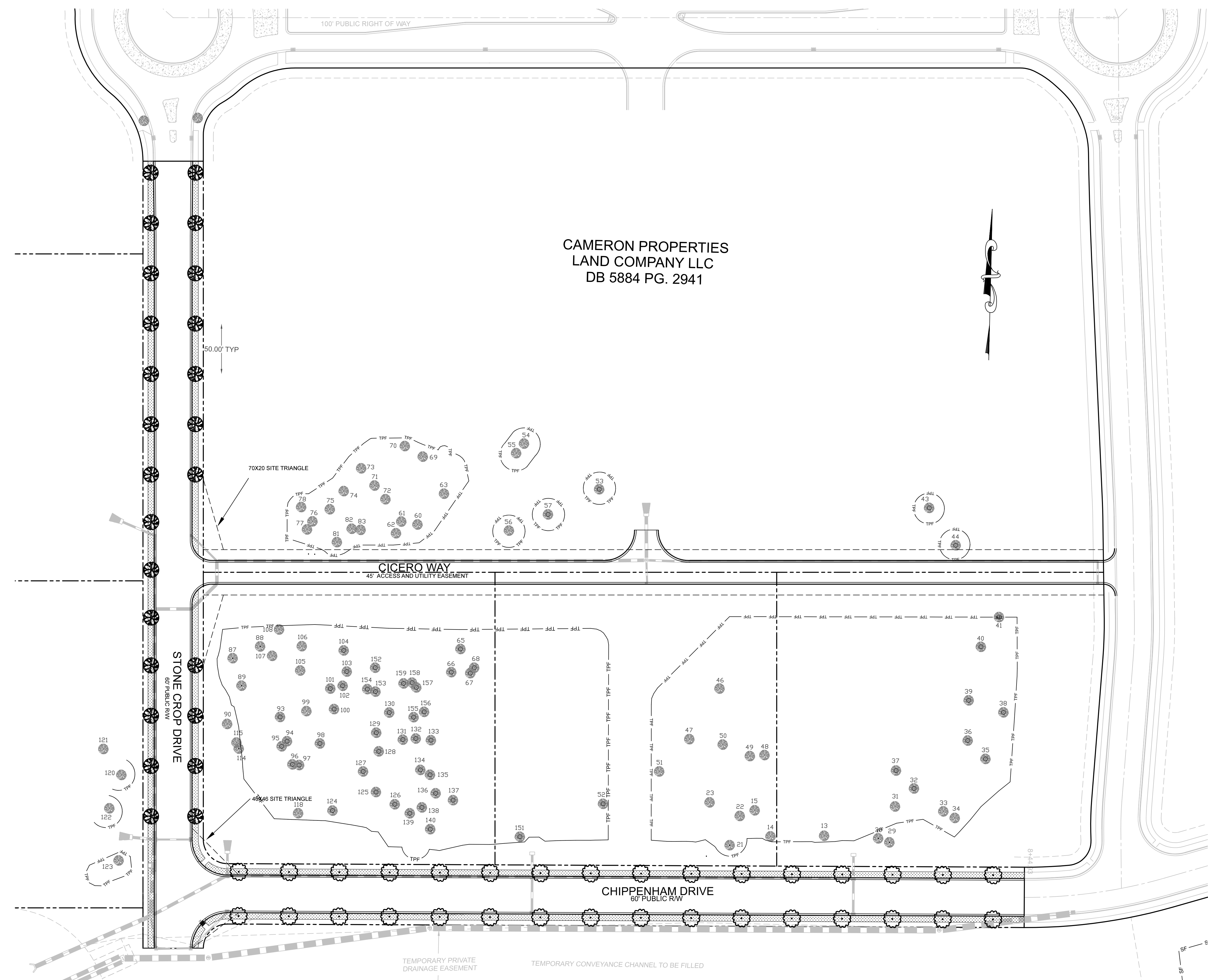
Sheet No: **TS-1**
 of **TS-1**

agrady@hdsllm.com

REV. NO.	REVISIONS	DATE
1	UPDATE LIMITS OF DISTURBANCE	7/16/2019
1	UPDATE TREE SURVEY (POST STORM CONDITIONS)	04/28/2019

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FINAL DESIGN NOT RELEASED FOR CONSTRUCTION

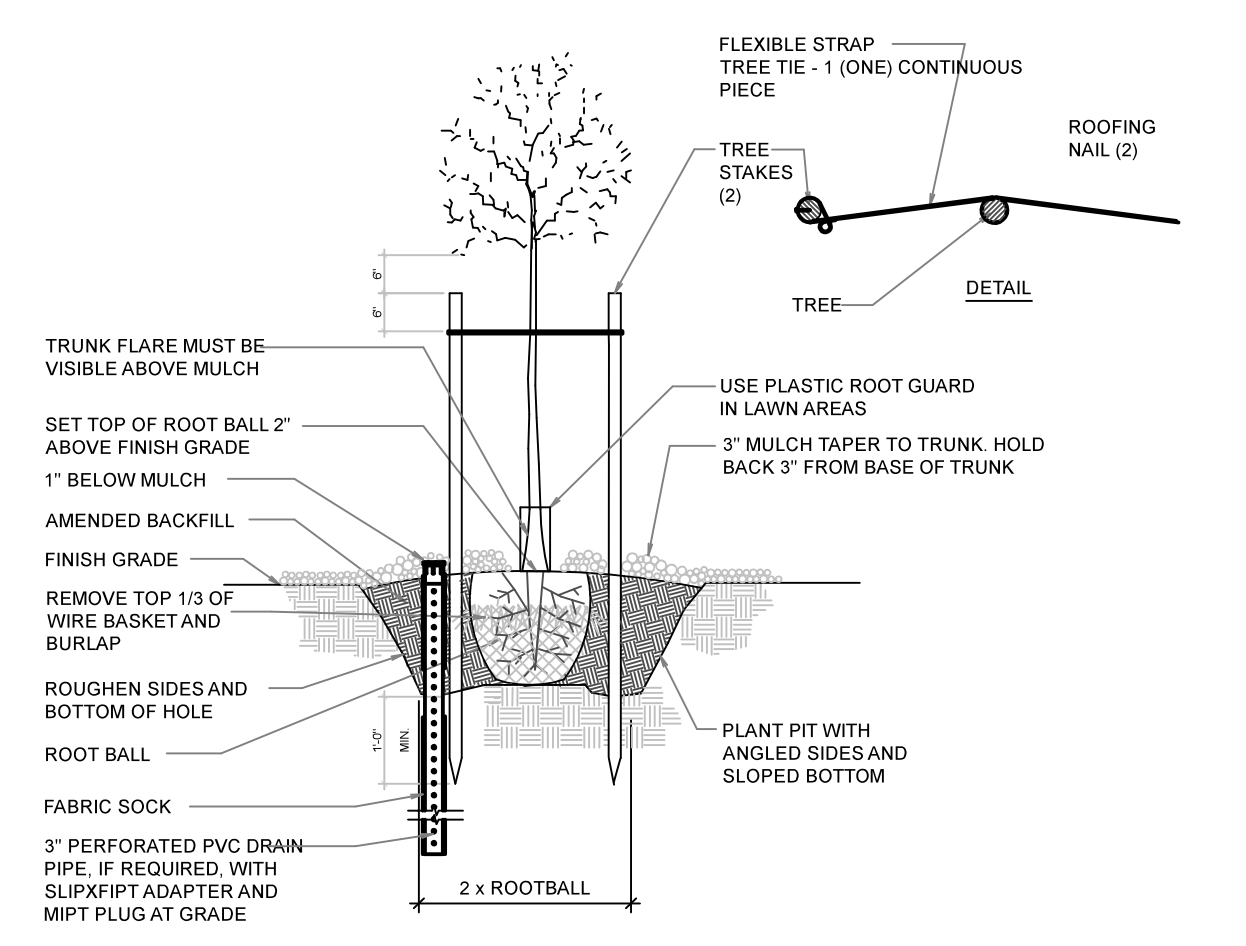


CAMERON PROPERTIES
LAND COMPANY LLC
DB 5884 PG. 2941

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____



TREE PLANTING AND STAKING
NOT TO SCALE

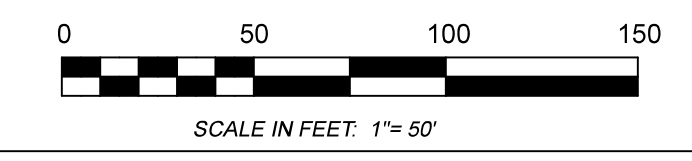
PLANT SCHEDULE

- Quercus Nuttallii/Nuttall Oak: 32 2-3" Caliper; > 8' HT
- Ulmus Parvifolia/Lacebark Elm Tree: 25 2.5-3" Caliper; > 8' HT
- Bermuda Grass: Approximately 13,543 SF
- Existing trees to be preserved

ACTUAL QUANTITIES SHALL BE CONFIRMED BY THE LANDSCAPER PRIOR TO INSTALLATION

LANDSCAPING NOTES

1. No plantings over thirty inches in height allowed in vision clearance.
2. Protection from vehicular traffic provided around all landscaping with a minimum height of six (6) inches.
3. Owner is responsible for maintenance to ensure plant material lives and prospers.
4. Planting plans shall be approved by landscape designer prior to installation.
5. Proposed vegetation shall not obstruct the area within the sight triangles in the range of 2.5' to 10.0' above ground level.
6. All quantities are approximate. Landscaper to confirm quantities prior to planting.



STREET TREE PLAN
THE POINTE AT BARCLAY STREET AND UTILITY EXTENSIONS
LOCATED IN THE CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

Date: 9-04-18
Scale: 1"=50'
Drawn: AHG
Checked: AHG
Project No: 12498
Sheet No: L-1

OWNER:
CAMERON PROPERTIES LAND COMPANY, LLC
1201 GLEN MEADE ROAD PO BOX 3849
WILMINGTON, NC 28406
910-762-2676

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 340-8002
License # C-2587

agrady@hdsllm.com

1	UPDATE TREE SURVEY (POST STORM CONDITIONS)	04/26/2019
REV. NO.	REVISIONS	DATE

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FINAL DESIGN NOT RELEASED FOR CONSTRUCTION